

REQUEST FOR PROPOSALS
BID #24-001
DEMOLITION PROJECTS

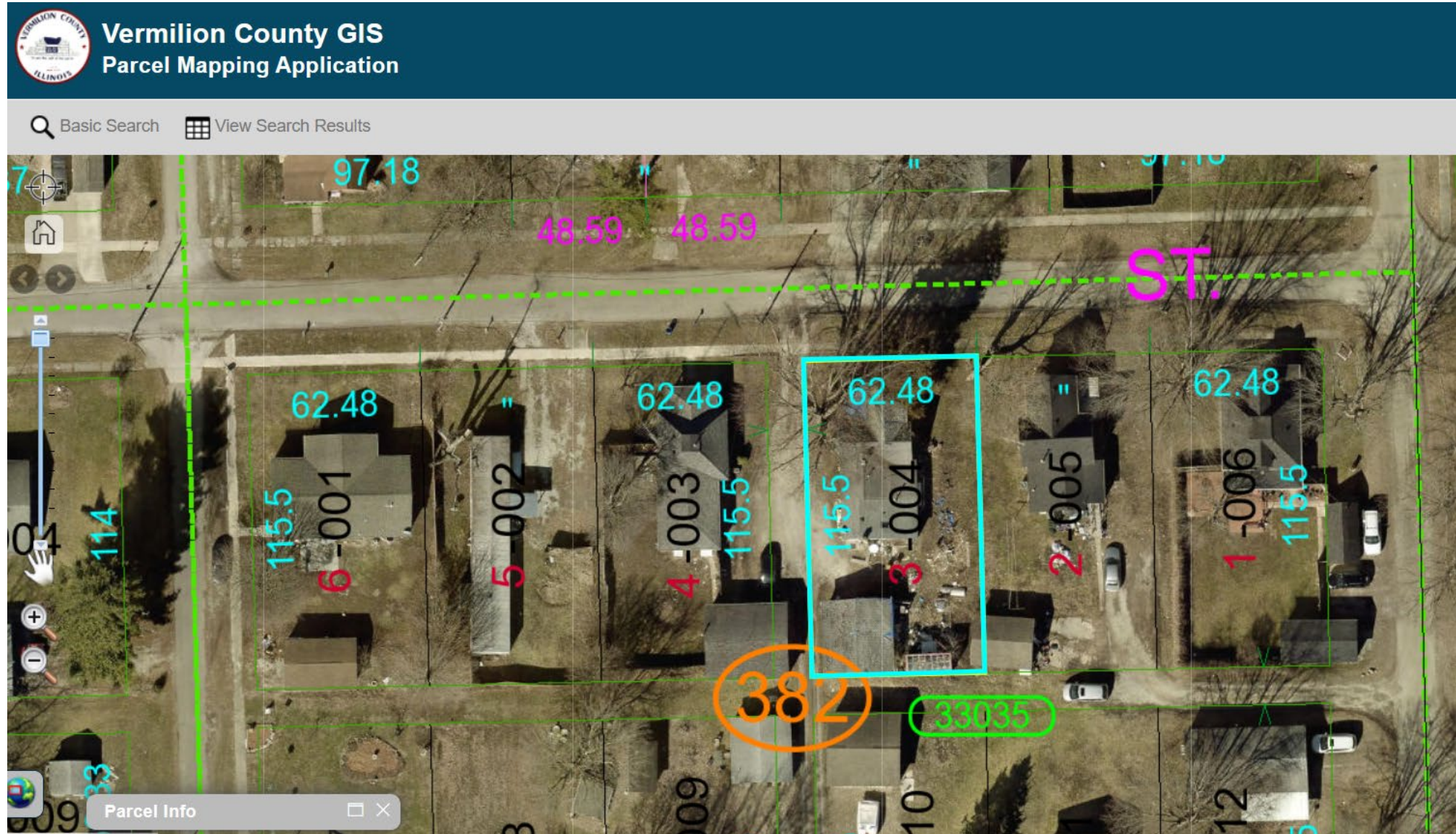
1. 306 E North, Ridge Farm
2. 405 S Main St, Georgetown
3. 305 Mill St, Georgetown
4. 401 W 14th St, Georgetown

SITE PICTURES AND DRAWINGS

306 E North, Ridge Farm, IL
PIN: 33-30-318-004



306 E North, Ridge Farm, IL PIN: 33-30-318-004



405 S Main St, Georgetown, IL
PIN: 28-32-309-007



405 S Main St, Georgetown, IL PIN: 28-32-309-007

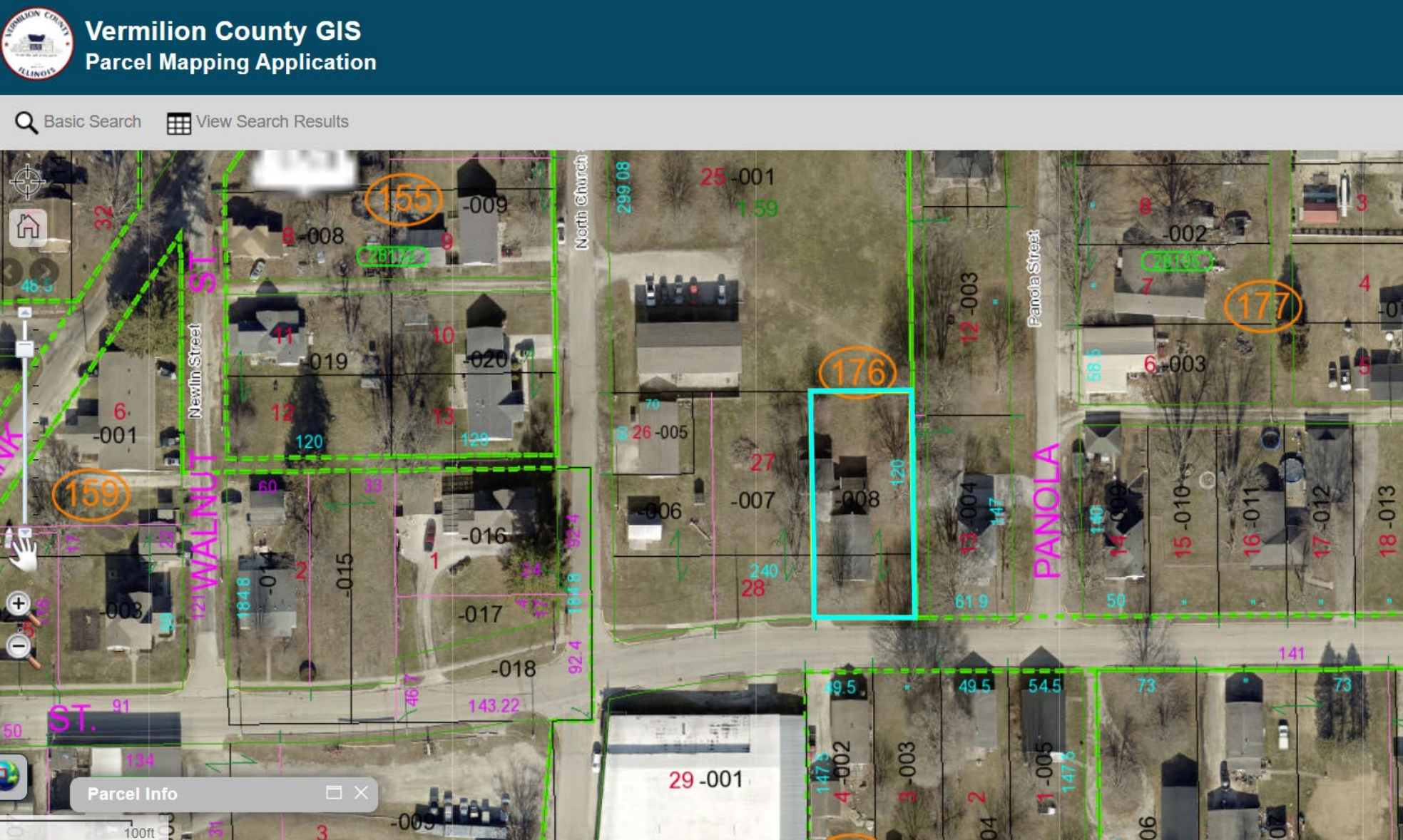
The screenshot displays the Vermilion County GIS Parcel Mapping Application interface. At the top left is the Vermilion County, Illinois logo. The main header reads "Vermilion County GIS Parcel Mapping Application". Below the header, there are search options: "Basic Search" and "View Search Results". On the right side, there are "Layers" and "Map" options. The main area is an aerial photograph overlaid with a grid of parcel boundaries. Each parcel is labeled with a unique identifier, typically a red number followed by a hyphen and a black number (e.g., 28-003, 29-005, 30-008, 31-009, 3-006, 4-007, 5-009, 21-017, 20-016, 19-023, 002, -004, -008, -010). Dimensions are shown in cyan text along the parcel boundaries (e.g., 60, 108, 150, 100, 120, 5, 86). A specific parcel, 4-007, is highlighted with a cyan border. Another parcel, 352, is circled in orange. A "Parcel Info" window is open at the bottom left, showing the number 354 circled in orange. A scale bar at the bottom left indicates 40ft. The interface also includes navigation controls on the left (compass, home, zoom in/out, pan) and a "View Search" button on the right.

305 Mill St, Georgetown, IL
PIN: 28-32-100-026



305 Mill St, Georgetown, IL

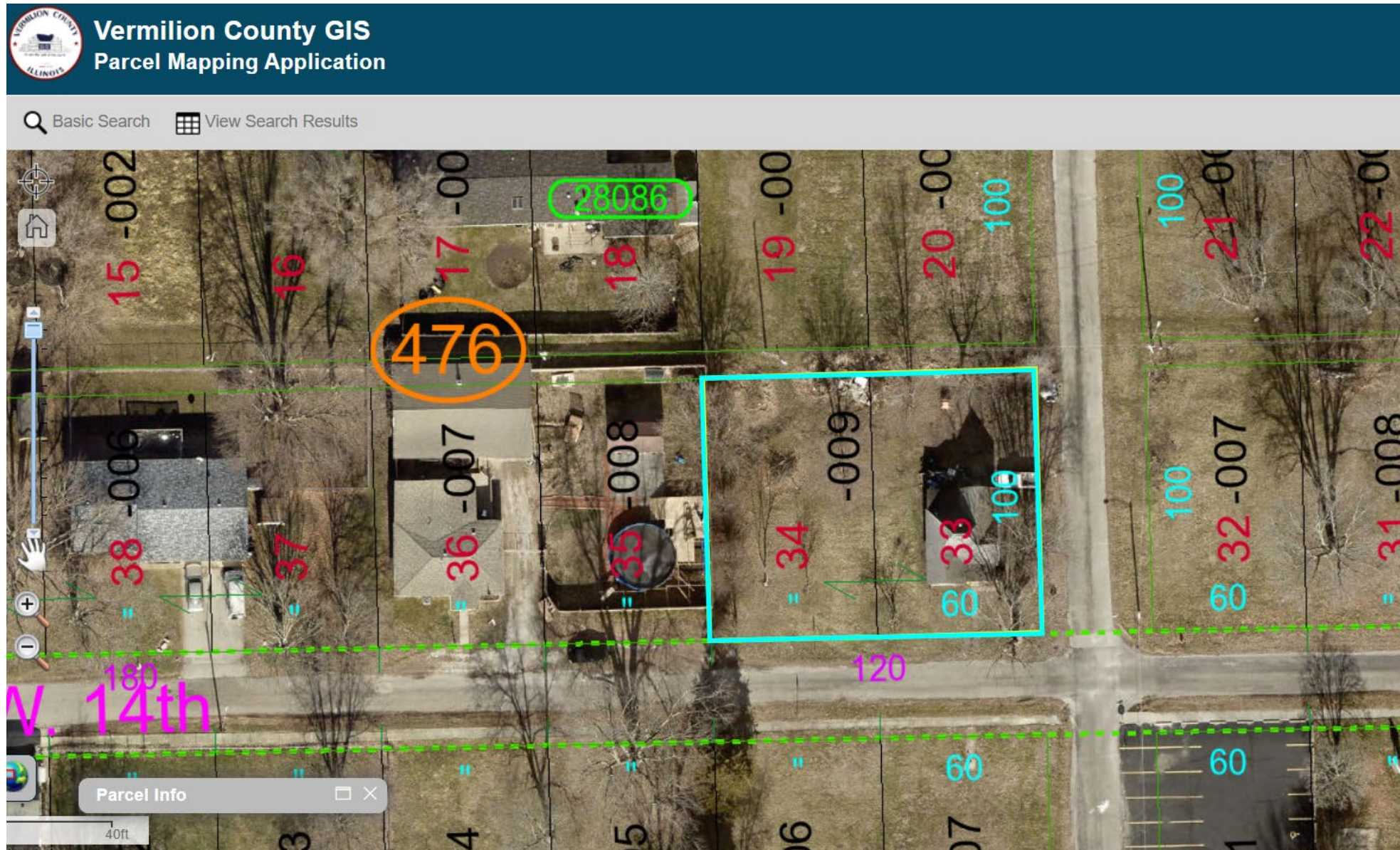
PIN: 28-32-100-026



401 W 14th St, Georgetown, IL
PIN: 28-30-403-029



401 W 14th St, Georgetown, IL PIN: 28-30-403-029



NOTICE TO BIDDERS

BID #24-001

1. SUMMARY OF THIS REQUEST FOR PROPOSALS

The Central Illinois Land Bank Authority (“**CILBA**”) seeks Construction Services from interested and qualified firm(s), namely:

Demolition of all structures; removal of all building materials and debris; and backfill of soils and restoration of soils to ensure appropriate site drainage and not impede future site development of the structures on the following properties (“**Target Structures**”):

1. 306 E North, Ridge Farm
2. 405 S Main St, Georgetown
3. 305 Mill St, Georgetown
4. 401 W 14th St, Georgetown

Services shall be performed at a standard that meets or exceeds those of the governing municipal jurisdictions (county, state, federal). Interested bidders shall be able to demonstrate successful completion of at least three (3) similar projects in the last 12 months to be considered qualified to perform this work.

2. REQUEST FOR PROPOSALS; OVERVIEW

Notice is hereby given that CILBA is accepting sealed bids for the demolition of the target structures. Bids will be received at:

Attn: Jacqueline Wilson
City Clerk & Water Clerk
City of Georgetown
208 S. Walnut St.
Georgetown, IL 61846
(217) 662-2525

Submission deadline is February 2nd 2024 at 1:00 PM (local time) at which time they will be publicly opened and read (“**Submission Deadline**”).

Specifications may be obtained at by email to ewalters@cilba.org or mdavis@cilba.org during regular business hours.

Bids must have the name and address of the bidder and Bid Number 24-001 on the outside of the sealed envelope. No bids will be accepted after the Submission Deadline. Bidders shall comply with the Illinois Prevailing Wage Act and all other Federal, State, and local laws when completing the Scope of Work. CILBA expressly reserves the right to accept or reject any or all bids. CILBA

also reserves the right to re-bid. To be considered, bids must be made in accordance with the instructions set forth in this Request for Proposals.

Interested bidders shall be able to demonstrate successful completion of at least three (3) similar projects in the last 12 months to be considered qualified to perform this work.

5. DESCRIPTION OF WORK.

CILBA is requesting proposals for pricing and timing of project that includes demolition of all structures; removal of all building materials and debris; and backfill of soils and restoration of soils to ensure appropriate site drainage and not impede future site development of the following Target Structures and all additional work set forth in **Attachment A (“Scope of Work”)**.

1. 306 E North, Ridge Farm
2. 405 S Main St, Georgetown
3. 305 Mill St, Georgetown
4. 401 W 14th St, Georgetown

Services shall be performed at a standard that meets or exceeds those set forth by the relevant municipal or County codes and permitting requirements.

Three properties (306 E North, 405 S Main St, and 305 Mill St) have received asbestos inspections, sampling, and laboratory analysis. Final reports for each property can be found in **Attachment D (“Hazardous Material Reports”)**. **Asbestos abatement may be necessary for individual Target Structures. Please review the Hazardous Material Reports.** All waste generated by the demolition will need to be disposed of as asbestos waste at a licensed landfill. The owner and or demolition contractor will need to ensure that all parties involved with the demolition are trained and licensed in handling and disposal of asbestos containing waste. The owner shall take all necessary precautions to protect all persons. CILBA will provide a non-friable and friable asbestos manifest for the selected abatement company to utilize. Additionally, CILBA will have a blanket asbestos contract with landfill at rate of \$67/ton.

401 W 14th ST, GEORGETOWN – PLEASE NOTE: 401 W 14th, Georgetown is a burned down house and there is a burn/rubble pile to be removed. An ash test is included in **Attachment D**. CILBA has set up a Special Waste Disposal Agreement with Republic Services’ Brickyard Landfill for the burn/rubble pile. A manifest from landfill is included in **Attachment E**.

The Manifest found in **Attachment E** must accompany **every load to the landfill for ash waste from 401 W 14th St, Georgetown**. Please be sure to complete the entire manifest before signing (including Section I cells m, n, and o; and Section IV cells a and c). All manifests must have original signatures in Section I and Section IV before handing it over to the driver. The landfill cannot accept manifests with copied signatures.

6. ADDITIONAL DOCUMENTS

Bidders may obtain all bid documents from CILBA, through the City of Georgetown, at the address listed above.

7. QUESTIONS

Bidders may submit questions about the bid documents in writing to CILBA no less than 5 days before the Submission Deadline. Questions received will be compiled and all replies issued to the bidders of record as addenda, which becomes part of the Request for Proposals. Oral instructions do not form a part of the Request for Proposals. Bidders may check with CILBA within 72 hours prior to the Submission Deadline to confirm any addenda affecting bidding. Please contact ewalters@cilba.org or visit the following website: www.cilba.org.

8. BASIS OF BIDS

Bids shall include all costs to complete the entire Scope of Work set forth in this Request for Proposals. If there are multiple properties, bids shall be listed for each separate property and shall be based on all costs for that property. CILBA may choose to award contracts on each individual property. If there are multiple properties, Bidder does not have to submit bids for all properties and can mark “N/A” on Proposal Form if no Bid is included.

9. FORM OF PROPOSAL

Bidders shall submit an exact copy of the “Proposal Form” included in **Attachment B** of this RFP, prepared on the bidder’s letterhead. By signing the Proposal Form, the bidder is creating a contractual offer, which includes the following as terms:

- i. Notice to Bidders
- ii. Instructions to Bidders
- iii. Form of Proposal
- iv. Sworn Statement Pursuant
- v. General Conditions
- vi. Supplemental Conditions
- vii. Scope of Work
- viii. All Drawings and Specifications
- ix. All Attachments, Bonds and Information submitted by the Bidder

The Proposal Form shall be signed and typed below the name of the person authorized to contractually bind the bidder.

Where bidder is a corporation, the Proposal Form and related documents must be signed with the legal name of the corporation followed by the state of incorporation and the legal signature of an officer or person authorized to bind the corporation to a contract.

10. SUBMITTAL

Submit the following information in a sealed envelope to the address below prior to the Submission

Deadline:

- i. Proposal Form
- ii. Samples of at least three (3) similar projects in the last 12 months
- iii. Sworn Statement, signed and notarized (Attachment)

Failure to submit all required information or documents before the Submission Deadline may result in rejection of the bid. Envelope shall be clearly identified with the project name, the name and address of the bidder and the Bid Number 24-001 on the face of the sealed envelope. **Bids must be received at the City of Georgetown, Attn: Jacqueline Wilson City Clerk & Water Clerk, 208 S. Walnut St. Georgetown, IL 61846 (217) 662-2525, no later than 1pm on February 2nd 2024.** Bids will be publicly opened, and no other bids will be accepted.

11. WITHDRAWAL

Bids may be withdrawn at any time before the bid opening but may not be resubmitted. CILBA may, at its sole discretion, provide an exception if a bid was turned in prior to issuance of Addenda or other conditions merit consideration. Bids may not be modified after submittal. Bids may not be withdrawn or modified after bid opening unless CILBA has not awarded the Contract within ninety (90) days of the Submission Deadline.

12. ACCEPTANCE/REJECTION

CILBA reserves the right to accept or reject any or all bids, waive any technicalities or informalities in the bidding, postpone the bid opening and to reject bids and/or award the Contract as determined to be in CILBA's best interests.

13. SUBSTITUTIONS

Bids shall be based upon the information and conditions set forth in this Request for Proposals. Substitute bids may be made only under the following condition: At the time bids are received, Bidders may submit on a separate sheet enclosed with the bid form, a list of proposed substitutions which they are willing to guarantee, stating the additions to or deductions from the bid price in case they are allowed. Technical data and complete descriptions shall be submitted.

14. AWARD

After reviewing all bids, CILBA will award the Contract to the lowest responsible bidder, as determined by CILBA. If there are multiple properties, CILBA may award a Contract for each individual property.

Generation Conditions

15. COMPLIANCE WITH LAWS

The selected bidder ("**Contractor**") shall perform in compliance with all applicable federal, State and local laws, ordinances, statues, rules and regulations. The Contractor shall be responsible for obtaining any and all necessary permits for a successful, legal demolition.

16. CONFLICTS OF INTEREST

Bidders shall provide information regarding any real or potential conflict of interest, including but not limited to business or personal relationships with CILBA's Executive Director or CILBA Board Member or any parent, spouse, child, partner, or employer of the CILBA's Executive Director or Board Members. Failure to reveal any potential conflict of interest at the time of Proposal may represent a breach of contract, subject to appropriate penalties.

17. SILENCE OF SPECIFICATIONS

The apparent silence of the specifications as to any detail or apparent omission from it as to a detailed description concerning any point shall be interpreted as meaning that only the best commercial material or practice shall prevail and that only items of the best materials or workmanship are to be used.

18. SUPERINTENDENCE

At the inception of the work, the Contractor shall notify CILBA at ewalters@cilba.org of the name of its job site agent. The Contractor shall notify CILBA of any change of the job site agent, immediately upon such change. The job site agent shall understand the plans and specifications and have experience managing demolition projects. The job site agent shall have full authority to execute orders or directions of CILBA without delay, and to promptly supply such materials, equipment, tools, labor, and incidentals as may be required.

19. TIME

A. **Completion Date.** The Contractor shall complete work on or before the time indicated in the Scope of Work. The contract completion date or period may be extended only by written change order.

B. **Time Extensions**

- i. Request for Time Extensions. All requests for extension of time to complete work shall be submitted by the Contractor in writing to CILBA at ewalters@cilba.org. The request shall specify the cause for the delay and the number of additional days sought to complete performance. The request must be submitted within forty-eight (48) hours of the occurrence of the cause of the delay or shall be deemed waived.

In the event of delay due to causes beyond the reasonable control of the Contractor, a reasonable extension of time by the amount of time the Contractor is actually delayed thereby will be given by the way of a properly executed written Change Order. The extension of time granted shall be the exclusive relief provided, and no additional compensation of claim for damages will be paid or due.

ii. Causes Beyond the Reasonable Control of the Contractor. The following are grounds for extensions of time due to causes beyond the reasonable control of the Contractor:

1. Delay in CILBA making the site available or in furnishing items to be furnished by CILBA that are necessary for Contractor to commence or continue work;
2. War, national conflicts, terrorist acts or priorities arising therefrom including restriction of the ability to procure critical materials;
3. Epidemics that affect the Contractors', sub-contractors' or material suppliers' ability to obtain construction labor or labor to produce materials;
4. Strikes or other labor disruptions extending in duration more than five calendar days;
5. Cataclysmic events;
6. Fires on the job site, adjacent to the work site, or involving the Contractors', sub-contractors' or material suppliers' property that materially affects the progress of the work.
7. Material delivery delays when the Contractor has exercised due diligence in securing critical materials.

iii. Liquidated Damages.

1. If the Contractor fails to perform as set forth in 2.6(a), Liquidated damages shall be charged at the rate of \$1,000.00 per calendar day for each day that the work is incomplete. CILBA will deduct these liquidated damages from any monies due or to become due to the Contractor from CILBA.
2. By entering this agreement, the Contractor specifically acknowledges that it is impractical to calculate and prove actual delay costs for failure to complete the contract on time. The amount stated above accounts approximately for administration, engineering, inspection, and supervision costs of delay during periods of delayed performance, as well as damages to the public for inability to use the public improvement.

20. METHOD OF PAYMENT

Payment will be made by CILBA after Contractor's complete performance of the Contract in accordance with all provisions thereof and upon subsequent receipt by CILBA of a properly executed invoice together with waivers of liens from all suppliers and subcontractors. Such invoice shall be accompanied by waivers of liens or the equivalent from supplier of work or materials stating that such work or materials have been paid for by the Contractor. Such invoice shall be paid by CILBA within sixty (60) days of its receipt, except for those sums allowed to be withheld pursuant to the Contract.

21. RIGHT TO WITHHOLD

In addition to the payments to be retained by CILBA under the other provisions of this contract, CILBA may withhold a sufficient amount of any payment otherwise due to the Contractor to cover the following:

- A. Claims arising in and from the performance of the work on the project under this Contract.
- B. Defective work not remedied.
- C. Failure of the Contractor to make proper payments to its subcontractors and suppliers.

CILBA shall disburse and shall have the right to act as agent for the Contractor in disbursing such funds as have been withheld pursuant to this paragraph to the party or parties who are entitled to payment therefrom (including CILBA). CILBA will render to the Contractor a proper accounting of all such funds disbursed on behalf of the Contractor.

22. CHANGE ORDERS AND EXTRA WORK

CILBA's Executive Director may, at any time or from time to time, order additions, deletions or revisions in the work; these will be authorized by Change Orders. Upon receipt of a Change Order, the Contractor shall proceed with the work involved. All such work shall be executed under the applicable conditions of the Contract. If any Change Order causes an increase or decrease in the Contract Price or an extension or shortening of the Contract time, the increase or decrease must be agreed to by both parties in writing.

23. MATERIALS & WORKMANSHIP

- A. Materials & Workmanship Excluded. The demolition and clearance work shall be completed in all respects and all material used in the work and all work thereon shall be done in strict accordance with the specifications set forth herein. All work shall be done in a first-class and workmanlike manner to the satisfaction of CILBA and in accordance with the best practice, standards and standard specifications recognized in the field unless specifically provided for otherwise in the specifications or approved by CILBA in writing.
- B. Final Inspection. When the work of demolition and site clearance is substantially completed, the Contractor shall notify CILBA's Executive Director that the work will be ready for final inspection on a definite date.
- C. Inspections, Correction and Rejection CILBA shall have the right to reject materials and workmanship which are defective or require correction. Rejected workmanship shall be satisfactorily corrected by Contractor and rejected materials shall be removed from the premises both without charge to CILBA. If the Contractor does

not correct such defective work and remove rejected materials within a reasonable time, fixed by written notice, CILBA may remove them and charge the expenses to the Contractor.

- D. Inspection after Completion. Should it be considered necessary or advisable by CILBA at any time before acceptance of the work to make an examination of work already completed by disassembling, removing or tearing out same, the Contractor shall on request promptly furnish all necessary facilities, labor and materials for that purpose and the costs thereof shall be charged to the Contractor if the work was covered prior to inspection by CILBA.
- E. No Waiver by Inspection or Payment. Neither the inspection of or payment for any work performed pursuant to any provision in the Contract shall relieve the Contractor of the responsibility for negligence or faulty materials or workmanship to the extent and within the period provided by law or this Contract, whichever is longer, and upon written notice, the Contractor shall remove any defects due therefrom and correct the same.

24. PROPERTY CONDITIONS

CILBA assumes no responsibility for the condition of existing structures and other property on the subject area nor for their continuance in the condition existing at the time of issuance of the Request for Proposals or thereafter. No adjustment of Contract Price or allowance for any change in conditions or unknown conditions shall be made.

25. INDEMNIFICATION AND HOLD HARMLESS

To the fullest extent allowed by law, Contractor shall indemnify and hold CILBA harmless against any and all damages to property or injuries to or death of any person or persons, including property and employees or agents of CILBA, and shall defend, indemnify and hold CILBA harmless from any and all claims, demands, suits, actions or proceedings of any kind or nature, including Workers Compensation claims, and including the cost of defending such actions including costs and attorneys fees, of or by anyone in any way resulting from or arising out of the operations of the Contractor or the Contractor's employees or subcontractors and acts or omissions of employees or agents of Contractor or subcontractors, unless caused solely by CILBA, its officers or employees. CILBA shall have the right to estimate the amount of such claims, demands, suits, actions or proceedings for damage or injuries and pay the same, and any amounts so paid shall be deducted from the money due the Contractor under this Contract, and the whole or so much of the money due or to become due the Contractor under, as may be considered necessary by CILBA, shall be retained by CILBA until such claims, demands, suits, actions, or proceedings shall have been settled or otherwise disposed of, and satisfactory evidence to that effect furnished to CILBA.

Insurance coverage specified in these General Conditions shall in no way lessen or limit the liability of Contractor under the terms of the contract. Contractor shall procure and maintain at the Contractor's own cost and expense, any additional kinds and amounts of insurance that, in the Contractor's own judgment, may be necessary for the Contractor's proper protection in the

prosecution of the work.

26. TERMINATION FOR BREACH

In the event that any of the provisions of this Contract are violated by the Contractor or by any of its subcontractors, CILBA may serve written notice upon the Contractor and the surety, if applicable, of the intention to terminate such Contract, such notice to contain the reasons for such termination intention, and unless within five (5) calendar days after the serving of such notice upon the Contractor such violations shall cease and satisfactory arrangements for correction be made, the Contract shall upon expiration of five (5) calendar days cease and terminate.

27. INSURANCE REQUIRED

Contractor shall provide CILBA with a certificate of insurance showing that the Contractor has policies in effect for the entire duration of the Contract with coverage limits of not less than \$500,000 Bodily Injury and \$500,000 Property Damage or \$1,000,000 Comprehensive General Liability as well as Automobile and Worker's Compensation coverage. The policies shall name the Central Illinois Land Bank Authority as "Additional Insured" for this Contract.

28. SUBCONTRACTORS

- A. No Contractual Relationship. Nothing contained in the contract documents shall create any contractual relationship between any subcontractor and CILBA.
- B. Notice. The Contractor shall notify CILBA in writing of the names of the subcontractors proposed for the principal parts of the Work and shall not employ any subcontractor that CILBA objects to as incompetent or unfit, or that is determined to be legally ineligible to perform work under the Contract.
- C. Responsibility of Contractor. The Contractor agrees to be fully responsible to CILBA for the acts or omissions of each of its subcontractors and of anyone employed directly or indirectly by the Contractor or its subcontractors and this contract obligation shall be in addition to the liability imposed by law upon the Contractor. The Contractor agrees to bind every subcontractor (and every subcontractor of a subcontractor) and every subcontractor agrees to be bound by the terms of this Request for Proposals and the subsequent Contract as far as applicable to its work, unless specifically noted to the contrary in a subcontract approved in writing as adequate by CILBA.

29. SOLID WASTE AND HAZARDOUS MATERIALS

Should the Contractor or any of its contractors or subcontractors discover any suspected hazardous materials as defined by State or federal law on the work site, Contractor shall immediately cease work, except as necessary to protect the public's health and safety, and immediately notify the CILBA of its suspicions. The Contractor shall be responsible for proper disposal of all solid waste removed from the work site. The Contractor shall provide CILBA with appropriate documentation

of its proper disposal prior to payment for any portion of the work resulting in the disposal of solid waste.

30. SANITARY FACILITIES

The Contractor shall furnish, install and maintain sufficient sanitary facilities for the workers, as the need arises.

31. VACATING OF BUILDINGS

If the Contractor finds that any structures are not vacated, the Contractor shall immediately notify CILBA's Executive Director and shall not begin demolition or site clearance operations on such properties until so ordered in writing by CILBA, and the Contractor's responsibility for such buildings will not begin until such order from CILBA has been sent to the Contractor. In case such occupancy is of a prolonged nature which actually interferes or is likely to interfere with the Contractor's operations so as to materially increase the Contractor's costs or require additional time, both parties shall agree to a Change Order or agree to otherwise terminate the Contract.

32. ACCIDENT PREVENTION; CONTRACTOR

The Contractor shall exercise all reasonable precaution at all times for the protection of all persons and property and shall be responsible for all damages to persons or property, either on or off the work site, which occur as a result of Contractor's fault or negligence in connection with the performance of the work. Final payment or inspection shall not be deemed a waiver of Contractor's responsibility. The safety provisions of applicable laws and building and construction codes shall be observed. Machinery, equipment and all hazards shall be guarded in accordance with the safety provisions of the "Manual of Accident Prevention in Construction" published by the Associated General Contractors of America, Inc., to the extent that such provisions are not in conflict with applicable local laws.

33. DISPUTES

All disputes of claims between the Contractor and CILBA shall come to the attention of CILBA's Executive Director for resolution, including all matters relating to the execution and satisfactory completion of the Work.

34. ATTORNEYS FEES

The Contractor shall be responsible for all costs incurred by CILBA to enforce any provision of this contract and/or to remedy any Contractor default or breach of contract, including all court costs and reasonable attorneys fees.

35. EMERGENCY SITUATIONS

In an emergency affecting the safety of life or property, on or adjoining the site, the Contractor shall act to prevent such threatened loss or injury.

36. AVOIDANCE OF DAMAGE TO PROPERTY OF OTHERS

The Contractor shall avoid damaging sidewalks, streets, curbs, pavements, utilities, structures or any other property. The Contractor shall repair, at the Contractor's own expense and in a manner satisfactory to CILBA and the local jurisdiction any damage thereto caused by the Contractor's operations. The Contractor shall be responsible for locating all utilities on the property and arranging for their disconnection in accordance with all laws and ordinances and utility regulations incurred. Any costs shall be paid by the Contractor.

37. PREVAILING WAGES ACT

- A. Illinois Prevailing Wage Act. The Contractor and each of its subcontractors shall comply with the Prevailing Wage Act, 820 ILCS 130/1 et seq., in the matter of prevailing wages. Contractors shall familiarize themselves with all of the provisions of the Act, and in addition, should make an investigation of the existing labor conditions, and any negotiated labor agreements which may exist or are contemplated at this time. The Contractor should also familiarize themselves with the local jurisdiction's adopted prevailing wage rates, if applicable.
- B. Federal Davis-Bacon Act. To the extent it is applicable, the contractor shall comply with the Federal Davis-Bacon Act rather than the Illinois Prevailing Wage Act referred to above.

38. ASSIGNMENT OF CONTRACT

The Contractor shall not assign this Contract or any part hereof without the written consent of the CILBA's Executive Director. No assignment of this Contract shall be valid unless it shall contain a provision that the funds to be paid to the assignee under the assignment are subject to a prior lien for services rendered or materials supplied for the performance of the work called for in said Contract in favor of all persons, firms, or corporations rendering such services or supplying such materials.

39. PUBLIC ADVERTISING

The Contractor is specifically denied the right of using in any form or medium CILBA's name for public advertising unless express permission is granted by CILBA's Executive Director.

40. RECORD AND AUDITS

The Contractor shall maintain accounts and records, including personnel, property and financial records, adequate to identify and account for all costs pertaining to the Contract and such other records as may be deemed necessary by CILBA to assure proper accounting for all project funds. These records will be made available to CILBA for audit purposes or any authorized representative and will be retained for three (3) years after the expiration of this Contract unless permission to destroy them is granted by CILBA.

41. USE OF PREMISES

The Contractor shall confine its equipment, storage of materials, and demolition and site clearance operations to the limits prescribed by local ordinance or relevant permits, or as may be directed by CILBA and shall not unreasonably encumber the premises with its salvaged materials.

42. BID-RIGGING, BID-ROTATING PROHIBITED

The Contractor certifies, in accordance with Section 33E-11 of the Illinois Criminal Code, that the Contractor is not barred from bidding on any contract with CILBA as the result of a violation of 720 ILCS 5/33E-3, Bid-Rigging, or 720 ILCS 5/33E-4, Bid Rotating, as amended.

43. PREFERENCE TO VETERANS ACT

The Contractor shall comply with the Veterans Preference Act, 330 ILCS 55/1, as amended, in the employment and appointment to fill positions in the construction, addition to, or alteration of any public works.

44. EMPLOYMENT OF ILLINOIS WORKERS OF PUBLIC WORKS ACT

If at the time this contract is executed, or if during the term of this contract, there is a period of excessive unemployment in Illinois, defined in the Employment of Illinois Workers on Public Works Act, 30 ILCS 570/0.01, as “any month immediately following 2 consecutive months of unemployment in the State of Illinois that has exceeded 5%”, the Contractor agrees to employ Illinois laborers. An “Illinois laborer” is defined as “any person who has resided in Illinois for at least 30 days and intends to become or remain an Illinois resident.” 30 ILCS 570/1(i).

45. TRAFFIC CONTROL

The Contractor shall be responsible for providing adequate safeguards to ensure traffic control and safety at the job site and to meet or exceed minimum standards required by local, State and federal requirements for traffic control. Contractor shall use professional judgement to assess the traffic safety and control measures required by this job and shall describe measures the Contractor will take to ensure traffic safety and control for this job.

46. DELINQUENT TAXES

Pursuant to 65 ILCS 5/11-42.1-1, CILBA may not enter into a Contract for goods and/or services with individuals or entities that are delinquent in the payment of any tax administered by the Illinois Department of Revenue. Before awarding a Contract, CILBA must obtain, under oath from the individuals or entities that no such taxes are delinquent.

47. NON-DISCRIMINATION

Contractor shall not discriminate against any employee or applicant for employment because of race, creed, color, religion, sex, ancestry, and national origin, place of birth, marital status or age.

48. SEXUAL HARASSMENT

Contractor is required to have a sexual harassment policy as part of its company policies. If your policy complies with the elements contained in the sexual harassment guidelines, please submit a copy. If you need to establish a policy, the Contractor have sixty (60) days from the date you submit a bid to establish such policy.

49. SCHEDULES

Contractor shall submit a clear schedule of times for initiation and completion for each segment of the project and shall notify CILBA if deviations occur. Contractor shall submit a schedule of values identifying costs for each segment of the project.

50. PROTECTION/REPAIRS/REPLACEMENT

Other than the structures identified for demolition, Contractor shall not damage any building, grounds, pavement or other surfaces or utilities during the construction. All damages shall be repaired in a manner acceptable to CILBA and the municipal jurisdiction at no cost to CILBA or the local jurisdiction. Any and all removing of structures/equipment, relocation of existing equipment or utilities, installation of devices or other temporary measures to aid in the construction shall be repaired and/or replaced by the Contractor in a manner acceptable to CILBA and the local jurisdiction at no additional cost to CILBA and the local jurisdiction.

51. SITE COMPLETION

Contractor shall be responsible for returning the site to CILBA in a condition acceptable to the local jurisdiction. This includes but is not limited to; removal of all trash and construction debris, resetting any objects moved to aid in construction and repair/replacement of any and all damages.

ATTACHMENT A

SCOPE OF WORK

The Scope of Work for this Request for Proposals shall consist of the demolition of all structures; removal of all building materials and debris; and backfill of soils and restoration of soils to ensure appropriate site drainage and not impede future site development of the following Target Properties:

1. 306 E North, Ridge Farm
2. 405 S Main St, Georgetown
3. 305 Mill St, Georgetown
4. 401 W 14th St, Georgetown

Work shall be **completed within 35 days** of being awarded the Contract. Services shall be performed at a standard that meets or exceeds those of CILBA and other governing jurisdictions (county, State, federal). In general, demolition and clearing work primarily will consist of disconnection of all utilities, sealing of sewer connections, demolition and disassembly of the project structures, removing concrete slabs, clearing of debris and the filling of all basements with granular fill, placement of top soil, seeding and turf management as specified.

1. SPECIAL NOTE ON 401 W 14th, Georgetown: this is a burned down house and there is a burn/rubble pile to be removed. Contractor should clean up all debris off lot including foundations and footers. Backfill crawl space, cap sewer line, and grass seed.
2. The Contractor shall provide all labor, materials, tools, utility costs, equipment and other services and incidentals necessary or convenient for the proper execution and completion of the work and the carrying out of all duties and obligations imposed on the Contractor by this Request for Proposals, with due credit for salvage to be obtained by the Contractor as part of the work except as otherwise specifically excluded by the specifications.
3. The Contractor shall avoid unnecessary interference with the use of streets and alleys by the general public. Contractor shall furnish, install and maintain and operate all means of protection of life and property (of both its employees and the general public) by the use of barricades, signal devices, lights and other equipment as required by IDOT, OSHA and the Illinois Department of Labor. Hard hats, safety glasses and high visibility clothing are required to be worn at all times.
4. The contractor will be responsible for providing and maintaining site security fencing. Condition & Maintenance shall meet or exceed the condition of the fencing upon the contractor's initial arrival for work. Site Security Fencing shall be completely secured each day at end of shift.
5. All construction, demolition and other land disturbing activities must use perimeter silt fence, soil stabilization, stabilized construction entrances and/or other means, as necessary to adequately protect the site from erosion and sediments losses. Details and specifications for

erosion control methods may be found in the Illinois Urban Manual. All necessary permits and Stormwater Pollution Prevention Plans must be appropriately acquired by the Contractor.

6. Any work that in any way encumbers public property shall not be commenced until the Contractor has secured a Contractor's Permit, from the local jurisdiction, to close/barricade the streets or sidewalks. Contractor shall also be responsible for all permitting, traffic control and coordination with the local jurisdiction for any and all work that impacts municipal rights of way.
7. Before starting demolition or removal operations, the Contractor shall arrange and confirm the disconnection of all utility service connections such as water, gas, telephone, and electric services to the buildings to be demolished or removed in accordance with the regulations of the utility concerned. Contractor is responsible for adequately protecting any power or other utility lines by the use of protective structures or by demolition procedures that preclude damage to these lines. All liability resulting from disruption and reconnection of any utility line is the responsibility of the Contractor.
8. Sanitary sewers and storm sewers if any, shall be disconnected and permanently sealed off at or near the property line. The Contractor shall accurately establish and stake the location and depth of these sewers. This information shall be transmitted to CILBA and the local jurisdiction for record. The Contractor shall notify the Plumbing Inspector, or designee, for inspection before a sewer is covered up. The Contractor will return the sewer and sanitary notice signed by the Inspector. The Contractor is expected to work with the local jurisdiction to locate the sewer main and building lateral location. Contractor must also work with local jurisdiction to confirm that they are sealed properly prior to demolition.
9. The buildings shall be demolished and removed with minimum disturbance to the general public. The Contractor shall apply a sufficient volume of water on each building in order to remove excessive dust, pollution, or hazard. The Building Inspector or other municipal representative shall have the right to direct the Contractor to spray the building when they feel it necessary for the public good. The Contractor must provide a two (2) inch minimum hose for each building, of such length as required to attach to the nearest hydrant shall be continuously staffed for this purpose. Contractor is responsible for coordination of acquiring sufficient water supply. It is the responsibility of the contractor to comply with the local water system's regulations.
10. After the Contractor is notified to proceed, all material and equipment resulting from the demolition, shall be the property of the Contractor and shall be removed from the premises within fifteen (15) days after the building has been demolished. No materials or equipment shall interfere with or block vehicular or pedestrian traffic.
11. The building(s) (including concrete slabs on grade or otherwise, walls, footings, columns, piers and foundation walls) shall be completely removed. Basement floor areas shall be excavated to granular material and all interior walls and footings shall be completely removed.

12. Should the building contain any hazardous materials, proper mitigation and disposition of the material should be followed as detailed in the Hazardous Materials Report found in the bid attachments.
13. All concrete, asphalt or other hard surfaces, including sidewalks, driveways and parking lots shall be removed with the exception of those within the municipal right of way.
14. All excavated areas shall be backfilled. Backfill shall be deposited at a thickness specified by the local jurisdiction in their relevant ordinances and regulations. No materials resulting from the demolition shall be used as backfill. Backfill materials shall be spread by bulldozers and loaders or approved alternate method and mechanically compacted with the use of a sheep's foot and smooth drum vibratory roller to a compaction acceptable to the local jurisdiction.
15. If any sidewalk, street, alley, right-of-way or other property is damaged during this demolition project, the Contractor shall make any necessary repairs, as required by the local jurisdiction and the cost of repairs shall be incidental to the contract and no additional compensation shall be allowed.
16. With granular fill as specified, the Contractor shall backfill the site using Pit Run or equivalent materials for the fill. Once fill has been completed, a top layer of approved topsoil is required at a depth specified by the local jurisdiction. The site shall be seeded per specifications of the local jurisdiction.
17. The Contractor shall backfill the area of the building and excavations to correspond with existing contours and have positive drainage. The Contractor shall be responsible for correcting any grading which causes ponding of water, within ninety (90) days of project completion. No water shall be directed to adjoining properties.
18. Waste materials shall be legally disposed of at a State of Illinois licensed landfill. The Contractor shall comply with all federal, State and local laws, statutes and ordinances for dumping and shall dispose of all materials in accordance with same. Contractor shall provide the local jurisdiction 24 hours' notice prior to hauling any materials. Contractor must demonstrate compliance with this provision by submitting dumping receipts from such landfill with pay requests. CILBA may refuse project payment for non-compliance.
19. Due to a dumping discount of \$58/ton for standard waste, \$67/ton for asbestos and \$70/ton for ash/special waste services agreement that was given to CILBA, this scope of work requires that waste materials for demolitions are taken to **Republic Services Landfill location at 601 Brickyard Rd, Danville, IL 61832**. CILBA will pay this fee directly. Contractor will provide CILBA 24 hours' notice prior to hauling any materials so that CILBA can pay the landfill directly. CILBA will provide a non-friable and friable asbestos manifest for the selected abatement company to utilize. Additionally, CILBA will have a blanket asbestos contract with landfill at rate of \$67/ton.

20. A manifest from landfill is included in ATTACHMENT E. The Manifest must accompany each load of **ash debris** to the landfill. Please be sure to complete the entire manifest before signing (including Section I cells m, n, and o; and Section IV cells a and c). All manifests must have original signatures in Section I and Section IV before handing it over to the driver. The landfill cannot accept manifests with copied signatures.
21. Contractors are to provide tear down costs per individual property. Additionally, based on estimated tonnage per property, Contractors should provide estimated dumping fees per property using a \$58/ton tipping fee rate. CILBA has provided a boilerplate spreadsheet to input this information for contractors.
22. All brush and vegetation without foreign materials shall be delivered to a site specified by the local jurisdiction. All materials must be prepared in a manner acceptable to the Site Operations. Generally, that requires no items longer than six (6) feet.
23. CILBA reserves the right to accept or reject any and all bids and to waive any technicalities.
24. Demolition of the above structure(s) shall be completed within forty-five (45) days of receiving a "Notice to Proceed" from CILBA. Any reason for delay of the demolition after "Notice to Proceed" must be reported to and approved by CILBA.
25. A Demolition Permit must be obtained from the local jurisdiction prior to initiation of the demolition project.
26. A Notice of Aware issued to the Contractor shall serve as the official "Notice to Proceed".
27. Any Contractor who initiates but has not completed a demolition project as acceptable by CILBA and the local jurisdiction within the required time frame, shall be assessed a penalty equal to \$1,000 for each working day the project remains incomplete. Extension(s) may only be granted by CILBA under appropriate circumstances at CILBA's sole discretion.
28. Contractor shall exercise all caution and provide all necessary equipment and protective action required to protect all buildings and property adjoining and/or abutting the project site. Any and all damages shall be the responsibility of the Contractor, no additional compensation shall be allowed. The Contractor shall hold harmless and indemnify CILBA and the local jurisdiction for any costs or causes of action associated with, or as a result of this demolition project.
29. Contractor shall be responsible for visiting the job sites and inspecting the areas and conditions under which the work will be performed. No additional compensation shall be allowed for conditions that could have been anticipated.
30. Contractor shall make a diligent effort to separate and sort debris as appropriate to minimize dumping fees. Concrete, Stone, brick and other materials considered clean fill shall be trucked to a site accepting such materials and as approved by the local jurisdiction. Steel and/or other salvage shall be the property of the Contractor.

31. Remove all fuel tanks from any structures and dispose of them in accordance with Illinois Environmental Protection Agency regulations.

32. Comply with requirements of authorities and utility service companies relating to:

- a. Public safety
- b. Use of public properties
- c. Pollution and erosion control
- d. Protection of adjacent properties
- e. Abandoned utility lines

ATTACHMENT B

PROPOSAL FORM

This shall be reproduced on the letterhead of the Bidder exactly as indicated, with all blank spaces correctly filled in with ink or other permanent instrument. No erasures, scratch outs or white outs shall appear on the form submitted.

BID PROPOSAL #24-001

To: Central Illinois Land Bank Authority

DATE: _____

Having carefully examined the Request for Proposal for Demolition Projects located at:

1. 306 E North, Ridge Farm
2. 405 S Main St, Georgetown
3. 305 Mill St, Georgetown
4. 401 W 14th St, Georgetown

Illinois including drawings, conditions of the Contract, as well as the site and all conditions affecting the work, we propose to furnish all of the work as shown on the drawings and/or called for in the Request for Proposal as follows:

TOTAL BID: _____

COMPLETION DATE: _____

In submitting this proposal, we agree:

1. To honor these bids for ninety (90) days following bid opening.
2. To execute and deliver to the CILBA a Contract in accordance with this bid and furnish a certificate of insurance naming the Central Illinois Land Bank Authority "Additional Insured" in effect for the duration of the Contract.
3. To provide a timetable and schedule of values for all work mentioned in the bid.
4. To comply with Prevailing Wage, Equal Opportunity and all other Federal, State and Local laws as they may apply.
5. To comply with all agencies (local, state, and federal) having jurisdiction over this work.

6. That it is CILBA's right to accept or reject any or all bids, to re-bid, to waive technicalities in the bidding, to postpone bid opening and to award the bid as determined to be in the best interest of CILBA.

DATE: _____

SIGNED: _____

BY: _____

COMPANY: _____

STATE OF INCORPORATION: _____

BUSINESS ADDRESS: _____

TELEPHONE: _____

ATTACHMENT C

SWORN STATEMENT

TO: Central Illinois Land Bank Authority

With reference to bid #24-001, the undersigned states under oath as follows: (check only one (1) box).

- The undersigned is not delinquent in the payment of any tax administered by the Illinois Department of Revenue; or,

- The undersigned is delinquent in the payment of one or more taxes administered by the Illinois Department of Revenue, but is contesting its liability for the tax or the amount of tax in accordance with the procedures established by the appropriate revenue Act; or,

- The undersigned is not considered delinquent in the payment of a tax because (i) it has entered into an agreement with the Illinois Department of Revenue for the payment of all such taxes due, and (ii) it is in compliance with the agreement.

- The undersigned has no financial or familial relationship with any CILBA staff member or CILBA Board member and is not aware of any conflict of interest that would prevent CILBA from awarding the Contract to Contractor.

Dated: _____, 2024

Bidder:

Signature

By: _____

SUBSCRIBED AND SWORN TO

Before me this _____ day

Of _____, 2024

Notary Public

EXECUTE AND RETURN WITH BID

ATTACHMENT D
HAZARDOUS SUBSTANCES REPORT



TRIPLE A ASBESTOS

FAMILY OWNED & OPERATED SINCE 1999

PO Box 167 Pana, IL 62557
P: 217.562.7002 F: 217.562.2457
admin@tripleaasbestos.com

Building Inspection for Asbestos Contained Material (ACM)

Inspection Requested by: Central IL Land Bank Authority
201 N. Vermilion Street, 2nd Floor
Danville, IL 61832

Contact: Mr. Mike Davis, AICP, LEED AP BD+C
Cell #: 217-655-8190
Email: mdavis@cilba.org

Date Inspected: December 21, 2023

Inspection Conducted by: Lee Austif #100-05607
Triple A Asbestos Services, Inc., Pana, Illinois

Address Location Inspected: House to be Demo located at 405 South Main Street, Georgetown, IL.

This survey has been written with the understanding that this structure is to be demolished. The demo contractor cannot commence demolition until Friable ACM is removed from structure. The demo contractor or owner is required to file a 10 working day, or 14 calendar days, prior to commencement of demo, Notification form IL 532 1296 with the Illinois Environmental Protection Agency. If filed by the demo contractor, the owner should request a copy and retain on permanent record.

Owner should request copy of Asbestos Abatement Contractor's Illinois Department of Public Health License and proof of proper asbestos insurances.

SUMMARY OF INSPECTION

The structure measures 34' X 44' with a fiberglass shingled roof and wood ship-lap siding and rock exterior on the front of house exterior and wood soffit and fascia and aluminum storm over wood framed windows and newer aluminum framed windows. Front porch measures 8' X 16' with three concrete steps and two ship-lap wood support columns and wood floor and wood tongue and groove ceiling. Rear porch measures 8' X 10' with four wood steps and wood floor and wood tongue and groove ceiling.

Front entry measures 5' X 6' with linoleum (sample #1) over wood floor and drywall walls and textured drywall ceiling.

Living room measures 12' X 13' with hardwood floor and drywall walls and textured drywall (sample #4) ceiling.



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Dining room measures 14' X 14' with wood laminate over wood floor and drywall (samples #2 & #3) walls and textured drywall ceiling.

Kitchen measures 13' X 14' with linoleum (homogeneous to sample #1) over wood floor and textured drywall (sample #6) walls and textured drywall (sample #5) ceiling.

Pantry measures 5' X 6' with plywood floor and drywall walls and textured drywall ceiling.

Bathroom measures 12' X 14' with 12" X 12" vinyl press on floor tile over wood floor and drywall walls and textured drywall ceiling.

Bedroom measures 12' X 14' with wood floor and drywall walls and textured drywall ceiling.

Hallway to utility room measures 3' X 11' with linoleum (homogeneous to sample #1) over wood floor and drywall walls and textured drywall ceiling.

Utility room measures 6' X 8' with 12" X 12" vinyl press on floor tile over wood floor and the East wall is wood and North wall is textured drywall and the West and South walls re unfinished drywall walls and the ceiling is exposed wood construction.

Stairwell to second floor has three woos steps to a 3' X 3' wood landing then twelve more wood steps and drywall walls and textured drywall ceiling.

Second floor hallway to bathroom measures 3' X 9' with hardwood floor and textured drywall (sample #7) walls and textured drywall ceiling.

Second floor bathroom measures 5' X 11' with linoleum (sample #11) over woo floor and drywall walls and textured drywall ceiling,

Second floor East bedroom measures 8' X 16' with a hardwood floor and drywall (sample #8) walls and textured drywall ceiling.

Second floor storage room measures 12' X 24' with a bare wood floor and wood paneling walls and exposed wood construction ceiling.

Second floor hallway to bedrooms measures 4' X 7' with hardwood floor and drywall walls and the ceiling is gone (ceiling plaster (sample #10) on floor).

Second floor storage room measures 6' X 10' with hardwood floor and pressboard walls and the ceiling is gone.

Second floor North bedroom measures 13' X 13' with hardwood floor and drywall walls and textured drywall ceiling.



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Second floor West bedroom measures 10' X 12' with 12" X 12" vinyl press on floor tile over wood floor and drywall (sample #9) walls and textured drywall ceiling.

Basement stairwell has eight wood steps to a 2' X 3' concrete landing and drywall walls and textured drywall ceiling.

The basement measures 16' X 34' with concrete floor and painted brick walls and exposed wood construction ceiling and duct tape (sample #12) on the duct work. Dirt crawl-space on the East and West sides.

Twelve bulk samples taken and a total of twenty-one layers analyzed. Attached is a copy of the bulk sample laboratory report.

POSITIVE

<u>SAMPLE ID</u>	<u>DESCRIPTION</u>	<u>LOCATION</u>	<u>AMOUNT</u>	<u>%ACM</u>
11B	Linoleum	2 nd FL-Bathroom	55 sq. ft.	30
12	Duct Tape	Basement	8 sq. ft.	80

******* Samples 11B and 12 is Regulated Asbestos Containing Material – Has to be removed prior to Demolition by a Licensed Asbestos Contractor.

NOTE: Illinois State & Federal Laws mandate that transite siding and TSI (thermal stem insulation such as duct tape, pipe insulation, pipe or tank wrap) must be removed by a licensed IDPH Asbestos Contractor.

NOTE: Floor Tile and Linoleum are Category I Non-Friable Resilient Floor Covering. See Paragraph B for regarding handling of this type of Asbestos Containing Building Material during Demolition.

Regulations:

- A. Effective March 22, 1999 per the Illinois COMMERCIAL AND PUBLIC BUILDINGS ACT, and regulations by the Illinois Department of Public Health, prior to renovation or demolition of the structure, all abatement of Thermal System Insulation (TSI) Friable Category I or Transite Category II in a Commercial or Public Building, must be completed by an IDPH LICENSED CONTRACTOR.
Written Notification is required to IDPH on removal of friable and non-friable 3 square or linear feet to 160 square feet to 260 linear feet. Notification to IEPA (Illinois Environmental Protection Agency) is required on quantities exceeding 160 square 260 linear feet.
- B. **DEMOLITION – Non-Friable resilient floor covering (floor Tile) can remain in a demolition project ONLY IF THE MATERIAL REMAINS NON-FRIABLE and can be disposed of as general construction debris. If non-friable is left in a demolition structure, the construction debris cannot be used for "fill" or recycled. If friable, it must be removed by an IDPH licensed contractor.**
- C. RENOVATION – If the structure is to be Renovated, the non-friable resilient flooring can be done by either a licensed contractor or if the floor tile can be removed (intact, with minimal breakage) personnel with proper training certificates as specified under OSHA 1926.1101 and 29 CFR 1926, 32(f) and the Illinois Commercial and Public Buildings Act. In



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admin@tripleaasbestos.com

either case, applicable notification requirements must be met and all applicable rules and regulations must be followed. If resilient flooring is left in the building, it cannot be made subject to sanding, grinding, cutting, abrading, drilling, chipping, pulverized, or other procedures likely to reduce material to powder or cause asbestos fibers to become airborne. In the event that the material to be removed is friable or becomes friable, it must be removed by a Licensed IDPH Asbestos Contractor.

Disclaimer: This survey is an evaluation of visual inspection only. Any ACM hidden within the structure, or not accessible without damaging the current structure of the building such as inside walls, is not covered by this inspection. Upon renovation or demolition, if suspected ACM is found, work should stop, and IDPH licensed inspector contacted for disposition of suspected materials.

I certify that, to the best of my knowledge, and believe, the reported analysis, opinion, and conclusions were developed, and this report has been prepared, in conformity with the requirements of the ILEPA/USEPA Regulations.

Respectfully submitted,

Lee Austif
Inspector License #100-05607

Dated: December 27, 2023
TA PROJECT NUMBER: 9088

Attachments: Inspector Credentials
Laboratory Report Bulk Samples

Reference Phone Numbers or Regulatory Agencies:

IDPH
Illinois Department of Public Health
Asbestos Abatement Section
525 West Jefferson
Springfield, IL 62761

Phone: 217-782-3517

IEPA
Illinois Environmental Protection Agency
PO Box 19276
1021 N. Grand Avenue East
Springfield, IL 62794-9276

Phone: 217-785-2011



525-535 West Jefferson Street • Springfield, Illinois 62761-0001 • www.dph.illinois.gov

LEE AUSTIF
 PO BOX 167, 705 S OAK ST
 PANA, IL 62557

3/10/2023




ASBESTOS PROFESSIONAL LICENSE ID NUMBER: 05607

Enclosed is your Asbestos Professional License. Please note the expiration date on the card and in the image depicted below.

COPY OF THE ASBESTOS PROFESSIONAL LICENSE

Front of License

Back of License

 <p>ASBESTOS PROFESSIONAL LICENSE</p>			<p>ENDORSEMENTS</p> <p>SUPERVISOR/WORKER INSPECTOR</p>	<p>TC EXPIRES</p> <p>10/29/2023 9/9/2023</p>
<p>ID NUMBER 100 - 05607</p>	<p>ISSUED 3/10/2023</p>	<p>EXPIRES 05/15/2024</p>	<p>PROJECT MANAGER</p>	<p>10/29/2023</p>
<p>LEE AUSTIF PO BOX 167, 705 S OAK ST PANA, IL 62557</p>  <p>Environmental Health</p>			<p>Alteration of this license shall result in legal action This license issued under authority of the State of Illinois Department of Public Health This license is valid only when accompanied by a valid training course certificate.</p>	

If you have any questions or need further assistance, contact the Asbestos Program at (217)782-3517 or fax (217)785-5897.

Our WEB address is: dph.illinois.gov/topics-services/environmental-health-protection/asbestos
 EMAIL Address: dph.asbestos@illinois.gov

PAT SERVICES

// ENGLAND LAB

BOX 2100
MILTON FL 32583
217-725-3159 patservices@icloud.com

LAB CERTIFICATION 167489



CLIENT: TRIPLE A ASBESTOS SERVICES
PO BOX 607
PANA IL 62536

PROJECT NO: 9088
SAMPLING DATE: 12/21/23

PROJECT: DEMO HOUSE
405 S MAIN ST
GEORGETOWN IL

SAMPLES RECEIVED: 12/26/23
ANALYTICAL DATE: 12/26/23

LABORATORY ANALYSIS POLARIZED LIGHT MICROSCOPY METHODOLOGY EPA 600

SAMPLE#	LOCATION DESCRIPTION	NON-FIBROUS MATERIAL	%	FIBROUS MATERIAL	%	ASBESTOS	%
1 ST FL							
FRONT ENTRY							
01A	LINOLEUM	POLVINYL	100	NONE DETECTED		NONE DETECTED	
01B	LNLN UNDERLAYMENT	NONE DETECTED		CELL/SYNTH	100	NONE DETECTED	
01C	LNLN ADHESIVE	LATEXBINDER	80	CELLULOSE	20	NONE DETECTED	
DINING RM							
02	WALL DRYWALL	GYP/CLG	65	CELLULOSE	35	NONE DETECTED	
03	WALL DRYWALL JOINT	GYP/CLG	90	CELLULOSE	10	NONE DETECTED	
LIVING RM							
04A	CEILING DRYWALL	GYP/CLG	65	CELLULOSE	35	NONE DETECTED	
04B	CLG DRYWALL FINISH COAT	GYP/CLG/MICA	90	CELLULOSE	10	NONE DETECTED	
KITCHEN							
05A	CEILING DRYWALL	GYP/CLG	65	CELLULOSE	35	NONE DETECTED	
05B	CLG DRYWALL FINISH COAT	GYP/CLG/MICA	90	CELLULOSE	10	NONE DETECTED	
06	WALL DRYWALL JOINT	GYP/CLG	90	CELL/FBGL	10	NONE DETECTED	
2 ND FL							
HALL							
07A	WALL DRYWALL						
07B	WALL DRYWALL FINISH	GYP/CLG/PERLITE	90	CELLULOSE	10	NONE DETECTED	
EAST BEDRM							
08A	WALL DRYWALL	GYP/CLG	65	CELLULOSE	35	NONE DETECTED	
08B	WALL DRYWALL FINISH COAT	GYP/CLG/MICA	90	CELLULOSE	10	NONE DETECTED	
WEST BEDRM							
09	WALL DRYWALL JOINT	GYP/CLG	90	CELLULOSE	10	NONE DETECTED	
HALL							
10A	CEILING PLASTER	GYP/CLG/QTZ	80	CELLULOSE	20	NONE DETECTED	
10B	CLG PLASTER FINISH COAT	GYP/CLG/SILICA	90	CELLULOSE	10	NONE DETECTED	
BATH							
11A	LINOLEUM	POLVINYL	100	NONE DETECTED		NONE DETECTED	
11B	LNLN UNDERLAYMENT	NONE DETECTED		CELLULOSE	70	CHRYSTILE	30
11C	LNLN ADHESIVE	LATEXBINDER	80	CELLULOSE	20	NONE DETECTED	
BASEMENT							
12	DUCT INSLTN WRAP	NONE DETECTED		CELLULOSE	20	CHRYSTILE	80

ALL SAMPLES ANALYZED BY POLARIZED LIGHT MICROSCOPY WITH DISPERSION STAINING. PERCENTAGES OF ASBESTOS WHEN PRESENT IN A SAMPLE, ARE VISUAL ESTIMATES BY VOLUME. QUANTITATION IS ACHIEVED BY UTILIZING A STEREOBINOCULAR MICROSCOPE. PAT SERVICES MAINTAINS LIABILITY LIMITED TO COST OF ANALYSIS. NVLAP ACCREDITATION APPLIES ONLY TO AHERA ANALYSIS 40CFR CH1 PART 763, APPENDIX A TO SUBPARTS C.F

C MCGINNIS
STAFF MICROSCOPIST



EMSL Analytical, Inc.

6340 CastlePlace Dr., Indianapolis, IN 46250
 Phone/Fax: (317) 803-2997 / (317) 803-3047
<http://www.EMSL.com> indianapolislab@emsl.com

EMSL Order: 162330010
 CustomerID: TRIP66
 CustomerPO:
 ProjectID:

Attn: **Jeff Austif** Phone: (217) 562-7002
Triple A Asbestos Services, Inc. Fax: (217) 562-2457
705 South Oak, P.O. Box 167 Received: 12/26/2023 09:46 AM
Pana, IL 62557 Collected: 12/21/2023

Project: BURNED HOUSE 401 W 14TH ST. GEORGETOWN, ILLINOIS 61846 #9087

Analytical Results

Client Sample Description #1+#2 *Collected:* 12/21/2023 *Lab ID:* 162330010-0001

<i>Method</i>	<i>Parameter</i>	<i>Result</i>	<i>RL Units</i>	<i>Prep Date & Analyst</i>		<i>Analysis Date & Analyst</i>	
METALS							
TCLP 7470A	Mercury	ND D	0.0020 mg/L	12/29/2023	JW	12/29/2023	JW
TCLP 1311/6010D	Arsenic	ND D	0.10 mg/L	12/29/2023	JW	12/29/2023	JW
TCLP 1311/6010D	Barium	ND D	0.50 mg/L	12/29/2023	JW	12/29/2023	JW
TCLP 1311/6010D	Cadmium	ND D	0.10 mg/L	12/29/2023	JW	12/29/2023	JW
TCLP 1311/6010D	Chromium	ND D	0.10 mg/L	12/29/2023	JW	12/29/2023	JW
TCLP 1311/6010D	Lead	1.1 D	0.10 mg/L	12/29/2023	JW	12/29/2023	JW
TCLP 1311/6010D	Selenium	ND D	0.10 mg/L	12/29/2023	JW	12/29/2023	JW
TCLP 1311/6010D	Silver	ND D	0.10 mg/L	12/29/2023	JW	12/29/2023	JW

Client Sample Description #3 *Collected:* 12/21/2023 *Lab ID:* 162330010-0002

<i>Method</i>	<i>Parameter</i>	<i>Result</i>	<i>RL Units</i>	<i>Prep Date & Analyst</i>		<i>Analysis Date & Analyst</i>	
METALS							
3050B/6010D	Sulfur	3800	10 mg/Kg	12/28/2023	JW	12/28/2023	JW

Definitions:

- MDL - method detection limit
- J - Result was below the reporting limit, but at or above the MDL
- ND - indicates that the analyte was not detected at the reporting limit
- RL - Reporting Limit (Analytical)
- D - Dilution Sample required a dilution which was used to calculate final results



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LEE AUSTIF
 PO BOX 167, 705 S OAK ST
 PANA, IL 62557

3/10/2023



ASBESTOS PROFESSIONAL LICENSE ID NUMBER: 05607

Enclosed is your Asbestos Professional License. Please note the expiration date on the card and in the image depicted below.

COPY OF THE ASBESTOS PROFESSIONAL LICENSE

Front of License

Back of License

 <p>ASBESTOS PROFESSIONAL LICENSE</p>			<p>ENDORSEMENTS</p> <p>SUPERVISOR/WORKER</p> <p>INSPECTOR</p>	<p>TC EXPIRES</p> <p>10/29/2023</p> <p>9/9/2023</p>
<p>ID NUMBER</p> <p>100 - 05607</p>	<p>ISSUED</p> <p>3/10/2023</p>	<p>EXPIRES</p> <p>05/15/2024</p>	<p>PROJECT MANAGER</p> <p>10/29/2023</p>	
<p>LEE AUSTIF PO BOX 167, 705 S OAK ST PANA, IL 62557</p>			<p>Alteration of this license shall result in legal action This license issued under authority of the State of Illinois Department of Public Health This license is valid only when accompanied by a valid training course certificate.</p>	

If you have any questions or need further assistance, contact the Asbestos Program at (217)782-3517 or fax (217)785-5897.

Our WEB address is: dph.illinois.gov/topics-services/environmental-health-protection/asbestos
 EMAIL Address: dph.asbestos@illinois.gov



2200 Vandalia Street, Collinsville, IL 62234 * Phone: 618-855-8764

Environmental and Occupational Safety & Health Training

Does hereby certify

Lee Austif

400 East Main Street, Pana, IL 62557



*Has successfully completed and passed the course examination with at least
70% for re-accreditation under AHERA (Title II)*

Asbestos Building Inspector Refresher

Class Date: 09/08/2023
Examination Date: 09/08/2023
STC Certificate Number: STC-20230908-003657ABIR
Certification Expiration: 09/08/2024

David M. Mendoza – President/Training Director
Certified Environmental Specialist
OSHA Authorized Instructor



TRIPLE A ASBESTOS

FAMILY OWNED & OPERATED SINCE 1999

PO Box 167 Pana, IL 62557
P: 217.562.7002 F: 217.562.2457
admin@tripleaasbestos.com

Building Inspection for Asbestos Contained Material (ACM)

Inspection Requested by: Central IL Land Bank Authority
201 N. Vermilion Street, 2nd Floor
Danville, IL 61832

Contact: Mr. Mike Davis, AICP, LEED AP BD+C
Cell #: 217-655-8190
Email: mdavis@cilba.org

Date Inspected: December 21, 2023

Inspection Conducted by: Lee Austif #100-05607
Triple A Asbestos Services, Inc., Pana, Illinois

Address Location Inspected: House to be Demo located at 305 Mill Street, Georgetown, IL.

This survey has been written with the understanding that this structure is to be demolished. The demo contractor cannot commence demolition until Friable ACM is removed from structure. The demo contractor or owner is required to file a 10 working day, or 14 calendar days, prior to commencement of demo, Notification form IL 532 1296 with the Illinois Environmental Protection Agency. If filed by the demo contractor, the owner should request a copy and retain on permanent record.

Owner should request copy of Asbestos Abatement Contractor's Illinois Department of Public Health License and proof of proper asbestos insurances.

SUMMARY OF INSPECTION

The structure measures 26' X 44' with a fiberglass shingled roof and concrete stucco over brick veneer exterior and wood soffit and fascia and the front eave is vertical wood siding and aluminum framed windows and wood framed windows and plastic gutter and aluminum downspouts. Front porch measures 8' X 26' concrete slab on masonry block foundation and five wood support posts and wood tongue and groove ceiling and five wood steps built over three concrete steps. Attached addition measures 28' X 30' with fiberglass shingled roof and ship-lap wood siding. Attached addition measures 12' X 20' with a fiberglass shingled roof and vinyl siding. Attached garage measures 12' X 30' with fiberglass shingled roof and the front has vinyl siding over wood and the rest of the exterior has fiberglass panels and one wood overhead garage door.

Living room measures 11' X 25' with hardwood floor and drywall walls and 12" X 12" orange-berg ceiling tiles.



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Front bedroom measures 11' X 13' with linoleum (sample #1) over wood floor and the East and West walls are wood paneling 40" up over drywall walls and the South wall is wood paneling and the North wall is drywall and 12" X 12" orange-berg ceiling tiles.

Bathroom measures 7' X 8' with 18" X 18" vinyl press on floor tile over wood floor and wood paneling walls and textured drywall ceiling.

Hallway measures 3' X 14' with hardwood floor and plaster walls and 12" X 12" orange-berg ceiling tiles.

Middle bedroom measures 8' X 14' with 9" X 9" floor tile sample #2) over wood floor and unfinished drywall walls and 12" X 12" orange-berg ceiling tiles.

Rear bedroom measures 12' X 12' with 12" X 12" vinyl press on floor tile over 9" X 9" floor tile (homogeneous to sample #2) over wood floor and drywall (sample #3) walls and drywall ceiling.

Kitchen measures 11' X 13' with 12" X 12" vinyl press on floor tile over fiberboard over 9" X 9" floor tile (sample #4) over wood floor and wood paneling over plaster (sample #5) on the North and West walls and brick veneer on the South and East walls and 12" X 12" orange-berg ceiling tiles over plaster (sample #6) ceiling.

Hallway measures 5' X 12' with 12" X 12" vinyl press on floor tile over fiberboard over 9" X 9" floor tile (sample #7) over wood floor and wood paneling walls and 12" X 12" orange-berg ceiling tiles.

Family room measures 16' X 17' with 12" X 12" vinyl press on floor tile over wood floor and wood paneling on the East wall and the rest of the walls are drywall (sample #8) and drywall (sample #9) ceiling.

Three wood steps to 3' X 4' landing with 9" X 9" floor tile (sample #10) over concrete floor and wood paneling walls and 12" X 12" orange-berg ceiling tiles.

Rear bedroom (addition) measures 13' X 14' with 9" X 9" floor tile (sample #11) over concrete floor and wood paneling walls and 12" X 12" orange-berg ceiling tiles.

Hallway to bathroom measures 3' X 5' with 9" X 9" floor tile (homogeneous to sample #11) over concrete floor and wood paneling on the East and South walls and exposed wood construction on the West wall and 12" X 12" orange-berg ceiling tiles.

Bathroom measures 6' X 12' with 12" X 12" floor tile over concrete floor and drywall walls and drywall ceiling.

Garage has a bare concrete floor and exposed wood construction walls and exposed wood construction ceiling.



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Basement has eight concrete steps and a bare concrete floor and painted concrete walls and exposed wood construction ceiling and duct tape (sample #12) on the duct work.

Twelve bulk samples taken and a total of twenty-three layers analyzed. Attached is a copy of the bulk sample laboratory report.

POSITIVE

<u>SAMPLE ID</u>	<u>DESCRIPTION</u>	<u>LOCATION</u>	<u>AMOUNT</u>	<u>%ACM</u>
02A	9" X 9" Floor Tile	Middle Bedroom	112 sq. ft.	10
Homogeneous	9" X 9" Floor Tile	Rear Bedroom	144 sq. ft.	10
02B	Adhesive	Middle Bedroom	112 sq. ft.	15
Homogeneous	Adhesive	Rear Bedroom	112 sq. ft.	15
04C	Adhesive	Kitchen	143 sq. ft.	15
07A	9" X 9" Floor Tile	Hallway	60 sq. ft.	10
07B	Adhesive	Hallway	60 sq. ft.	15
10A	9" X 9" Floor Tile	Landing	12 sq. ft.	10
10B	Adhesive	Landing	12 sq. ft.	15
11A	9" X 9" Floor Tile	Addition-Rear Bedroom	182 sq. ft.	10
Homogeneous	9" X 9" Floor Tile	Hallway to Bathroom	15 sq. ft.	10
11B	Adhesive	Addition-Rear Bedroom	182 sq. ft.	15
Homogeneous	Adhesive	Hallway to Bathroom	15 sq. ft.	15
12	Duct Tape	Basement	18 sq. ft.	40

*** Sample 12 is Regulated Asbestos Containing Material – Has to be removed prior to Demolition by a Licensed Asbestos Contractor.

*** Samples 02, 02B, 04C 07A, 07B, 10A, 10B, 11A, 11B and Homogeneous Area's can remain in during Demolition but **ALL** the Construction Debris must be hauled to an Authorized Landfill as General Construction Debris.



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NOTE: Illinois State & Federal Laws mandate that transite siding and TSI (thermal stem insulation such as duct tape, pipe insulation, pipe or tank wrap) must be removed by a licensed IDPH Asbestos Contractor.

NOTE: Floor Tile and Linoleum are Category I Non-Friable Resilient Floor Covering. See Paragraph B for regarding handling of this type of Asbestos Containing Building Material during Demolition.

Regulations:

- A. Effective March 22, 1999 per the Illinois COMMERCIAL AND PUBLIC BUILDINGS ACT, and regulations by the Illinois Department of Public Health, prior to renovation or demolition of the structure, all abatement of Thermal System Insulation (TSI) Friable Category I or Transite Category II in a Commercial or Public Building, must be completed by an IDPH LICENSED CONTRACTOR.
Written Notification is required to IDPH on removal of friable and non-friable 3 square or linear feet to 160 square feet to 260 linear feet. Notification to IEPA (Illinois Environmental Protection Agency) is required on quantities exceeding 160 square 260 linear feet.
- B. **DEMOLITION – Non-Friable resilient floor covering (floor Tile) can remain in a demolition project ONLY IF THE MATERIAL REMAINS NON-FRIABLE and can be disposed of as general construction debris. If non-friable is left in a demolition structure, the construction debris cannot be used for “fill” or recycled. If friable, it must be removed by an IDPH licensed contractor.**
- C. RENOVATION – If the structure is to be Renovated, the non-friable resilient flooring can be done by either a licensed contractor or if the floor tile can be removed (intact, with minimal breakage) personnel with proper training certificates as specified under OSHA 1926.1101 and 29 CFR 1926, 32(f) and the Illinois Commercial and Public Buildings Act. In either case, applicable notification requirements must be met and all applicable rules and regulations must be followed. If resilient flooring is left in the building, it cannot be made subject to sanding, grinding, cutting, abrading, drilling, chipping, pulverized, or other procedures likely to reduce material to powder or cause asbestos fibers to become airborne. In the event that the material to be removed is friable or becomes friable, it must be removed by a Licensed IDPH Asbestos Contractor.

Disclaimer: This survey is an evaluation of visual inspection only. Any ACM hidden within the structure, or not accessible without damaging the current structure of the building such as inside walls, is not covered by this inspection. Upon renovation or demolition, if suspected ACM is found, work should stop, and IDPH licensed inspector contacted for disposition of suspected materials.

I certify that, to the best of my knowledge, and believe, the reported analysis, opinion, and conclusions were developed, and this report has been prepared, in conformity with the requirements of the ILEPA/USEPA Regulations.

Respectfully submitted,

Lee Austif
Inspector License #100-05607

Dated: December 27, 2023
TA PROJECT NUMBER: 9086

Attachments: Inspector Credentials
Laboratory Report Bulk Samples



TRIPLE A ASBESTOS

FAMILY OWNED & OPERATED SINCE 1999

PO Box 167 Pana, IL 62557
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admin@tripleaasbestos.com

Reference Phone Numbers or Regulatory Agencies:

IDPH

Illinois Department of Public Health
Asbestos Abatement Section
525 West Jefferson
Springfield, IL 62761

Phone: 217-782-3517

IEPA

Illinois Environmental Protection Agency
PO Box 19276
1021 N. Grand Avenue East
Springfield, IL 62794-9276

Phone: 217-785-2011



525-535 West Jefferson Street • Springfield, Illinois 62761-0001 • www.dph.illinois.gov

LEE AUSTIF
 PO BOX 167, 705 S OAK ST
 PANA, IL 62557

3/10/2023




ASBESTOS PROFESSIONAL LICENSE ID NUMBER: 05607

Enclosed is your Asbestos Professional License. Please note the expiration date on the card and in the image depicted below.

COPY OF THE ASBESTOS PROFESSIONAL LICENSE

Front of License

Back of License

 <p>ASBESTOS PROFESSIONAL LICENSE</p>			<p>ENDORSEMENTS</p> <p>SUPERVISOR/WORKER INSPECTOR</p>	<p>TC EXPIRES</p> <p>10/29/2023 9/9/2023</p>
<p>ID NUMBER 100 - 05607</p>	<p>ISSUED 3/10/2023</p>	<p>EXPIRES 05/15/2024</p>	<p>PROJECT MANAGER</p>	<p>10/29/2023</p>
<p>LEE AUSTIF PO BOX 167, 705 S OAK ST PANA, IL 62557</p>			<p>Alteration of this license shall result in legal action This license issued under authority of the State of Illinois Department of Public Health This license is valid only when accompanied by a valid training course certificate.</p>	
 <p>Environmental Health</p>				

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 EMAIL Address: dph.asbestos@illinois.gov

PAT SERVICES

// ENGLAND LAB

BOX 2100
MILTON FL 32583
217-725-3159 patservices@icloud.com

LAB CERTIFICATION 167489



CLIENT: TRIPLE A ASBESTOS SERVICES
PO BOX 607
PANA IL 62536

PROJECT NO: 9086
SAMPLING DATE: 12/21/23

PROJECT: DEMO HOUSE
305 MILL ST
GEORGETOWN IL

SAMPLES RECEIVED: 12/26/23
ANALYTICAL DATE: 12/27/23

LABORATORY ANALYSIS POLARIZED LIGHT MICROSCOPY METHODOLOGY EPA 600

SAMPLE#	LOCATION DESCRIPTION	NON-FIBROUS MATERIAL	%	FIBROUS MATERIAL	%	ASBESTOS	%
FRONT BEDRM							
01A	LINOLEUM	POLYVINYL	100	NONE DETECTED		NONE DETECTED	
01B	LNLM ADHESIVE	LATEXBINDER	80	CELLULOSE	20	NONE DETECTED	
MIDDLE BEDRM							
02A	9x9 FLOORTILE	VINYLBINDERS	80	CELLULOSE	10	CHRYSTILE	10
02B	TILE ADHESIVE	MASTICBINDER	70	CELLULOSE	15	CHRYSTILE	15
REAR BEDRM							
03A	WALL DRYWALL	GYP/CL/QTZ	70	CELLULOSE	30	NONE DETECTED	
03B	DRYWALL FINISH COAT	GYP/CAL/PERLITE	90	CELLULOSE	10	NONE DETECTED	
KITCHEN							
04A	9X9 FLOORTILE	VINYLBINDERS	90	CELLULOSE	10	NONE DETECTED	
04B	TILE ADHESIVE TOP LAYER	LATEXBINDER	80	CELLULOSE	20	NONE DETECTED	
04C	TILE ADHESIVE BTM LAYER	MASTICBINDER	70	CELLULOSE	15	CHRYSTILE	15
05A	WALL PLASTER	GYP/CAL/QTZ	80	CELLULOSE	20	NONE DETECTED	
05B	PLASTER FINISH COAT	GYP/CAL/SILICA	85	CELLULOSE	15	NONE DETECTED	
06A	CEILING PLASTER	GYP/CAL/QTZ	80	CELLULOSE	20	NONE DETECTED	
06B	PLASTER FINISH COAT	GYP/CAL/SILICA	85	CELLULOSE	15	NONE DETECTED	
HALL							
07A	9x9 FLOORTILE	VINYLBINDERS	80	CELLULOSE	10	CHRYSTILE	10
07B	TILE ADHESIVE	MASTICBINDER	70	CELLULOSE	15	CHRYSTILE	15
FAMILY RM							
08	WALL DRYWALL	GYP/CL/QTZ	70	CELLULOSE	30	NONE DETECTED	
09A	CEILING DRYWALL	GYP/CL/QTZ	70	CELLULOSE	30	NONE DETECTED	
09B	DRYWALL FINISH COAT	GYP/CAL/PERLITE	90	CELLULOSE	10	NONE DETECTED	
LANDING							
10A	9x9 FLOORTILE	VINYLBINDERS	80	CELLULOSE	10	CHRYSTILE	10
10B	TILE ADHESIVE	MASTICBINDER	70	CELLULOSE	15	CHRYSTILE	15
ADDITION - REAR BEDRM							
11A	9x9 FLOORTILE	VINYLBINDERS	80	CELLULOSE	10	CHRYSTILE	10
11B	TILE ADHESIVE	MASTICBINDER	70	CELLULOSE	15	CHRYSTILE	15
BASEMENT							
12	DUCT INSLTN TAPE	NONE DETECTED		CELLULOSE	60	CHRYSTILE	40

ALL SAMPLES ANALYZED BY POLARIZED LIGHT MICROSCOPY WITH DISPERSION STAINING. PERCENTAGES OF ASBESTOS WHEN PRESENT IN A SAMPLE, ARE VISUAL ESTIMATES BY VOLUME. QUANTITATION IS ACHIEVED BY UTILIZING A STEREOBINOCULAR MICROSCOPE. PAT SERVICES MAINTAINS LIABILITY LIMITED TO COST OF ANALYSIS. NVLAP ACCREDITATION APPLIES ONLY TO AHERA ANALYSIS 40CFR CH1 PART 763, APPENDIX A TO SUBPARTS C,F

C MCGINNIS
STAFF MICROSCOPIST

PG 1/1

NESHAP ASBESTOS SURVEY

Performed For:

CENTRAL ILLINOIS LAND BANK AUTHORITY

201 N. Vermillion Street, 2nd Floor
Danville, IL 61832

Project Location:



FORMER RESIDENCE

*306 E. North Street
Ridge Farm, IL 61870*

Inspection Date: December 4, 2023

MEC Project #: 23-09-648-INSP

**Corporate
Headquarters**
2551 N. Bridge Street
Yorkville, Illinois 60560
P: 630-553-3989

Chicago Office
954 W. Washington Blvd.
Suite 425
Chicago, Illinois 60607
P: 312-535-3228

Peoria Office
3100 N. Knoxville Ave.
Suite 204
Peoria, Illinois 61603
P: 309-621-4680



CENTRAL ILLINOIS LAND BANK AUTHORITY
FORMER RESIDENCE

306 E. North Street
Ridge Farm, IL 61870

Table of Contents

MEC Project #: 23-09-648-INSP

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<i>Licensing / Certifications</i>	<i>Section 5</i>

Section 1:

Introduction:

Midwest Environmental Consulting Services, Inc. (MEC) was retained by the Aurora University to conduct a comprehensive National Emission Standards for Hazardous Air Pollutants (NESHAP) survey for suspect asbestos-containing materials (ACM) in a residential residential building with a detached garage. The residence is located at 306 E. North Street, Ridge Farm, IL 61870. The asbestos inspection was performed on December 4, 2023. This comprehensive NESHAP inspection was intended to address the potential existence of ACM on the interior and exterior prior to future planned demolition of the buildings.

Section 2:

Protocol:

The bulk sampling strategy is based upon the protocol of homogeneous areas established by the United States Environmental Protection Agency (USEPA). A homogeneous sampling area (HSA) is defined as an area of material that is uniform in color, texture, construction, general appearance, and date of installation.

Bulk samples of suspect ACM were analyzed by Polarized Light Microscopy (PLM) utilizing the EPA-600/M4-82-020 Method. Bulk samples were analyzed using Asbestos Hazard Emergency Response Act (AHERA) "positive stop" protocol, meaning each sample of each HSA group is analyzed until asbestos is found in the HSA or all samples in the group are analyzed and are negative for asbestos content.

Section 3:

Building Description:

The building is a wood frame, two-story single family home constructed in the 1950's. The building was constructed on a wood foundation and has a crawlspace which was not accessible at the time of the inspection. The former residence contains approximately 1,420 square feet of usable space and the former garage has approximately 700 square feet of usable space. The flooring consists of wood, much of which and is covered various types of vinyl sheet or floor tile. Interior walls are wood stud framing and covered with drywall. The exterior of the former residence is covered with both transite and vinyl siding, The exterior walls of the detached garage are wood frame with wood siding. The pitched roofing on both the former residence and detached garage consists of asphalt-based shingles.

Section 4:

Scope of Work:

The inspection was to address the following objectives:

- * Observe, assess, and collect bulk samples of friable and non-friable asbestos containing building materials within the specific scope of work.
- * The inspection was intended to identify all homogeneous areas, and did not attempt to identify or address any other environmental health hazards.
- * The scope of work did not include identifying all potential concerns or eliminate possible

Inspection Performed For:

CENTRAL ILLINOIS LAND BANK AUTHORITY

201 N. Vermillion Street, 2nd Floor

Danville, IL 61832

MEC Project #: 23-09-648-INSP

A total of seventeen (17) homogeneous areas were identified within the scope of work and of the seventeen (17) homogeneous areas, six (6) homogeneous areas tested positive for asbestos content. Zero (0) homogeneous areas were assumed to contain asbestos.

Asbestos-Containing Materials:

- MFC - Vinyl Floor Tile/Mastic - White with Blue Specks (Floor Tile)
- MFF - 9"x9" Floor Tile/Mastic - Grey
- MMA - Bathroom Tile Surround Adhesive
- MTA - Transite Exterior Siding
- MMC - Grey Roof Flashing
- MMD - Exterior Window Glazing Compound

Assumed Asbestos-Containing Materials:

- N/A

Section 5:

Executive Summary:

Standard practice requires that the owner provide Certified-As-Built drawings for review by the inspector. At the time of the inspection, these drawings were not available. Therefore, the accuracy of the inspection can only be based on the materials that were accessible or known about prior to the inspection. If a suspect material is identified during demolition, all work shall stop immediately until the materials can be sampled for asbestos content.

During renovation or demolition, it is recommended that a project design, project oversight, and air monitoring be in place prior to any asbestos abatement work being conducted. An Illinois Department of Public Health licensed asbestos abatement contractor must be in place prior to any asbestos abatement activities.

Prior to any planned renovation or demolition taking place, Midwest Environmental Consulting Services, Inc., strongly recommends that either the client contact Midwest Environmental Consulting Services, Inc., or the Illinois Department of Public Health or the Illinois Environmental Protection Agency in regards to applicable rules and regulations.

This survey report is for the exclusive use of the Central Illinois Land Bank Authority and its respective affiliates, designees, successors, and assignees, and no other party shall have any right to rely on service provided by Midwest Environmental Consulting Services, Inc., without prior written consent. This asbestos survey is not intended to be a scope of work or project design. Estimated quantities of materials are for information only and should not be utilized for abatement bidding purposes.

Although Midwest Environmental Consulting Services, Inc., has attempted to identify all suspect asbestos materials located on the inside of the building; some materials may have been inaccessible. Midwest Environmental Consulting Services, Inc. makes no warranty, expressed or implied.

Sincerely,



Michael Glenn & Josh Rentauskas
IDPH-Licensed Asbestos Building Inspector 100-02620/20386

Inspection Performed For:
CENTRAL ILLINOIS LAND BANK AUTHORITY
201 N. Vermillion Street, 2nd Floor
Danville, IL 61832
MEC Project #: 23-09-648-INSP

Asbestos Bulk Sample Field Summary Table

Client: CENTRAL ILLINOIS LAND BANK AUTHORITY

Project Location: FORMER RESIDENCE

MEC Project #: 23-09-648-INSF

Address: 201 N. Vermillion Street, 2nd Floor Danville, IL 61832

Address: 306 E. North Street Ridge Farm, IL 61870

Insp. Date: December 4, 2023

Inspector: Michael Glenn & Josh Rentauska

IDPH #: 100-02620 / 20386

H S A	MATERIAL DESCRIPTION	MATERIAL LOCATION	ACM CATEGORY	TYPE OF ANALYSIS OR ASSUMED	MATERIAL CONDITION	MATERIAL TYPE	APPROX. QUANTITY	ACM YES/NO	COMMENTS
MFA	12"x12" Floor Tile/Mastic - Beige with Diamond Pattern	Kitchen	N/A	PLM	D	M	95 s.f.	No	N/A
MFB	Sheet Flooring/Mastic - Lt. Beige with Blue Floral Pattern	Kitchen under MFB	N/A	PLM	D	M	95 s.f.	No	N/A
MFC	Vinyl Floor/Mastic - White with Blue Specks (floor tile)	Kitchen under MFA/MFB/plywood, Dining Room under MFD/plywood	N/A	PLM	D	M	351 s.f.	Yes	N/A
MFD	Sheet Floor/Mastic - Wood Pattern	Dining Room and Kitchen (partial)	N/A	PLM	D	M	188 s.f.	No	N/A
MFE	Sheet Floor/Mastic - Cream with Square Pattern	Bathroom	N/A	PLM	D	M	81 s.f.	No	N/A
MFF	9"x9" Floor Tile/Mastic - Grey	Bathroom under MFE	N/A	PLM	ND	M	81 s.f.	Yes	N/A
SCA	Acoustical Finish on Drywall Ceilings	Dining Room, Bathroom, Front Room and Two Front Bedrooms	N/A	PLM	ND	S	727 s.f.	No	N/A
MMA	Bathroom Tile Surround Adhesive	Bathroom	N/A	PLM	D	M	128 s.f.	Yes	N/A

ACM Category Classification:

Friable Asbestos-Containing Material = A friable ACM is a material containing more than 1% asbestos that can easily be crumbled, pulverized, or reduced to powder by hand pressure when it is dry.

Category I Non-Friable Asbestos-Containing Material = Any asbestos-containing packet, gasket, resilient floor covering, mastic, or asphalt roofing product that contains more than 1% asbestos.

Category II Non-Friable Asbestos-Containing Material = Any material excluding Category I Non-Friable material containing more than 1% asbestos that when dry cannot be crumbled, pulverized, or reduced to powder by hand pressure or mechanical forces expected to act on the material.

Analysis Type: PLM = Polarized Light Microscopy TEM = Transmission Electron Microscopy Assumed = Material was not tested and is assumed to contain ACM.

Condition: G = Good D = Damaged SD = Significantly Damaged

Material Type: M = Miscellaneous S = Surfacing T = Thermal

Asbestos Bulk Sample Field Summary Table

Client: CENTRAL ILLINOIS LAND BANK AUTHORITY

Project Location: FORMER RESIDENCE

MEC Project #: 23-09-648-INSF

Address: 201 N. Vermillion Street, 2nd Floor Danville, IL 61832

Address: 306 E. North Street Ridge Farm, IL 61870

Insp. Date: December 4, 2023

Inspector: Michael Glenn & Josh Rentauska

IDPH #: 100-02620 / 20386

H S A	MATERIAL DESCRIPTION	MATERIAL LOCATION	ACM CATEGORY	TYPE OF ANALYSIS OR ASSUMED	MATERIAL CONDITION	MATERIAL TYPE	APPROX. QUANTITY	ACM YES/NO	COMMENTS
MDA	Drywall and Compound	Throughout former residence - Walls/Ceilings	N/A	PLM	D	M	3,927 s.f.	No	N/A
MMB	Residual Black Mastic on Wood	Front Room and two front bedrooms	N/A	PLM	D	M	515 s.f.	No	N/A
MTA	Transite Exterior Siding	Exterior siding under vinyl siding	N/A	PLM	D	M	1,750 s.f.	Yes	N/A
MRA	Asphalt Shingles and Tar Paper	Former Residence and Detached Garage Roofs	N/A	PLM	D	M	2,975 s.f.	No	N/A
MMC	Grey Roof Flashing	Low Roof of residence along upper wall	N/A	PLM	ND	M	25 l.f.	Yes	N/A
MMD	Exterior Window Glazing Compound	Exterior wood windows	N/A	PLM	D	M	16 windows	Yes	N/A
MME	Tar Paper - Interior Walls	Garage perimeter walls	N?A	PLM	ND	M	537 s.f.	No	N/A
MMF	Tar Paper under Transite Siding	Exterior Walls	N?A	PLM	D	M	1,750 s.f.	No	N/A
MFG	12"x12" Floor Tile/Mastic - Thin Wood Pattern	Living Room	N/A	PLM	D	M	190 s.f.	No	N/A

ACM Category Classification:

Friable Asbestos-Containing Material = A friable ACM is a material containing more than 1% asbestos that can easily be crumbled, pulverized, or reduced to powder by hand pressure when it is dry.

Category I Non-Friable Asbestos-Containing Material = Any asbestos-containing packet, gasket, resilient floor covering, mastic, or asphalt roofing product that contains more than 1% asbestos.

Category II Non-Friable Asbestos-Containing Material = Any material excluding Category I Non-Friable material containing more than 1% asbestos that when dry cannot be crumbled, pulverized, or reduced to powder by hand pressure or mechanical forces expected to act on the material.

Analysis Type: PLM = Polarized Light Microscopy

TEM = Transmission Electron Microscopy

Assumed = Material was not tested and is assumed to contain ACM.

Condition: G = Good D = Damaged SD = Significantly Damaged

Material Type: M = Miscellaneous S = Surfacing T = Thermal

CENTRAL ILLINOIS LAND BANK AUTHORITY

FORMER RESIDENCE

306 E. North Street

Ridge Farm, IL 61870



Homogeneous Area:	MFA
Material Description:	12"x12" Floor Tile/Mastic - Beige with Diamond Pattern
Material Location:	Kitchen
ACM Y/N:	No

Comments: N/A



Homogeneous Area:	MFB
Material Description:	Sheet Flooring/Mastic - Lt. Beige with Blue Floral Pattern
Material Location:	Kitchen under MFB
ACM Y/N:	No

Comments: N/A

Midwest Environmental Consulting Services, Inc.

MEC Project #: 23-09-648-INSP

CENTRAL ILLINOIS LAND BANK AUTHORITY

FORMER RESIDENCE

306 E. North Street

Ridge Farm, IL 61870



Homogeneous Area:	MFC
Material Description:	Vinyl Floor/Mastic - White with Blue Specks (floor tile)
Material Location:	Kitchen under MFA/MFB/plywood, Dining Room under MFD/plywood
ACM Y/N:	Yes

Comments: N/A



Homogeneous Area:	MFD
Material Description:	Sheet Floor/Mastic - Wood Pattern
Material Location:	Dining Room and Kitchen (partial)
ACM Y/N:	No

Comments: N/A

CENTRAL ILLINOIS LAND BANK AUTHORITY

FORMER RESIDENCE

306 E. North Street

Ridge Farm, IL 61870



Homogeneous Area:	MFE
Material Description:	Sheet Floor/Mastic - Cream with Square Pattern
Material Location:	Bathroom
ACM Y/N:	No

Comments: N/A



Homogeneous Area:	MFF
Material Description:	9"x9" Floor Tile/Mastic - Grey
Material Location:	Bathroom under MFE
ACM Y/N:	Yes

Comments: N/A

CENTRAL ILLINOIS LAND BANK AUTHORITY

FORMER RESIDENCE

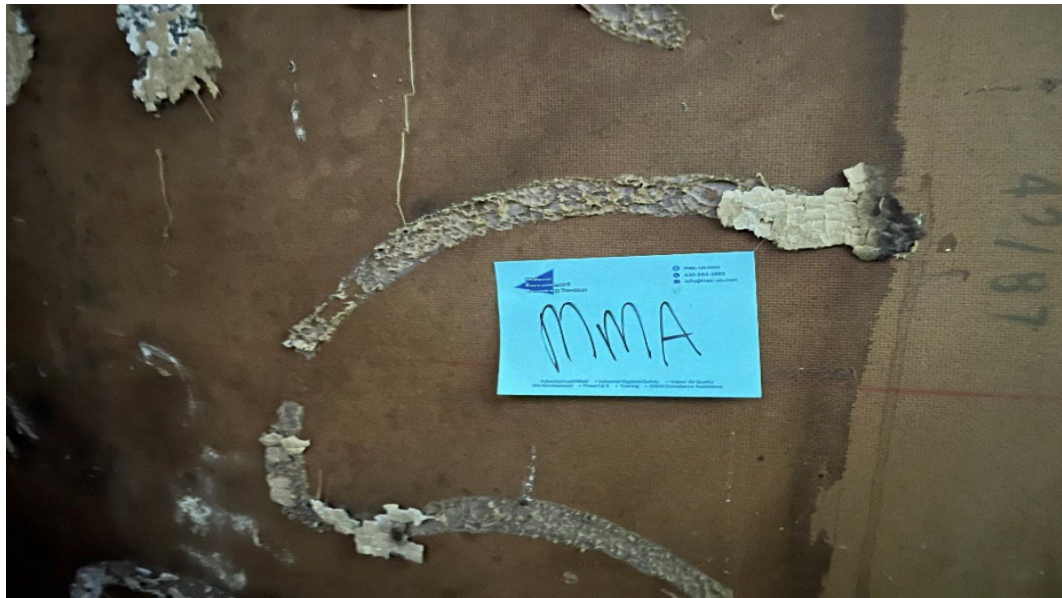
306 E. North Street

Ridge Farm, IL 61870



Homogeneous Area:	SCA
Material Description:	Acoustical Finish on Drywall Ceilings
Material Location:	Dining Room,Bathroom, Front Room and Two Front Bedrooms
ACM Y/N:	No

Comments: N/A



Homogeneous Area:	MMA
Material Description:	Bathroom Tile Surround Adhesive
Material Location:	Bathroom
ACM Y/N:	Yes

Comments: N/A

CENTRAL ILLINOIS LAND BANK AUTHORITY

FORMER RESIDENCE

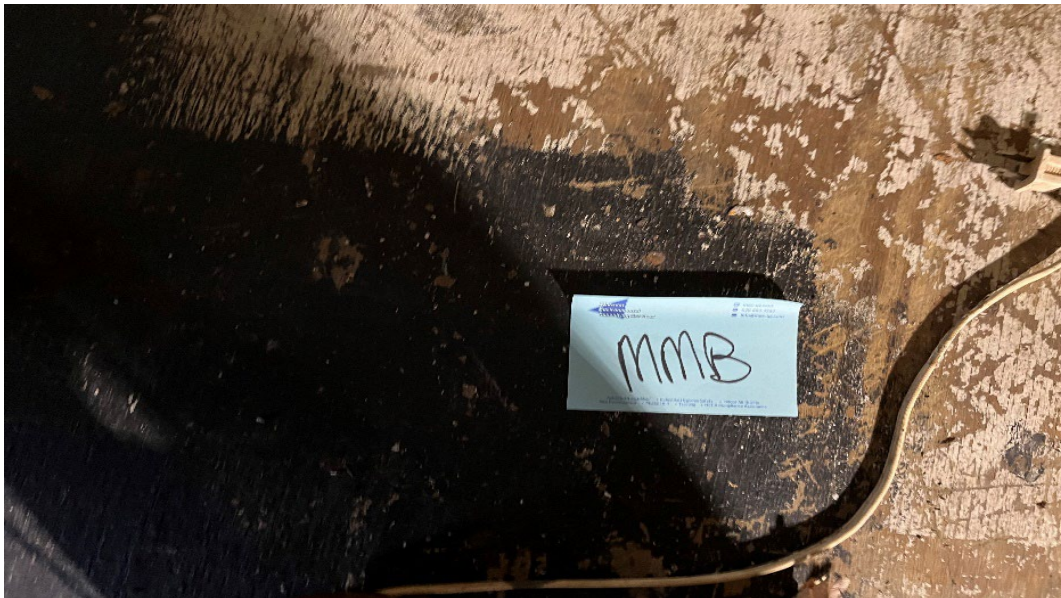
306 E. North Street

Ridge Farm, IL 61870



Homogeneous Area:	MDA
Material Description:	Drywall and Compound
Material Location:	Throughout former residence - Walls/Ceilings
ACM Y/N:	No

Comments: N/A



Homogeneous Area:	MMB
Material Description:	Residual Black Mastic on Wood
Material Location:	Front Room and two front bedrooms
ACM Y/N:	No

Comments: N/A

CENTRAL ILLINOIS LAND BANK AUTHORITY

FORMER RESIDENCE

306 E. North Street

Ridge Farm, IL 61870



Homogeneous Area:	MTA
Material Description:	Transite Exterior Siding
Material Location:	Exterior siding under vinyl siding
ACM Y/N:	Yes

Comments: N/A



Homogeneous Area:	MRA
Material Description:	Asphalt Shingles and Tar Paper
Material Location:	Former Residence and Detached Garage Roofs
ACM Y/N:	No

Comments: N/A

CENTRAL ILLINOIS LAND BANK AUTHORITY

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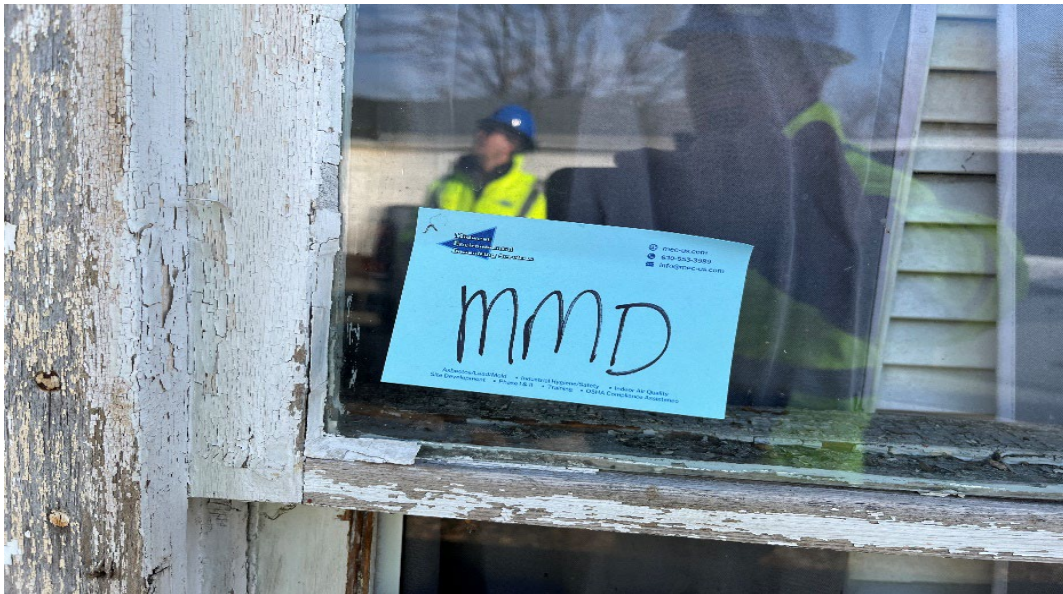
306 E. North Street

Ridge Farm, IL 61870



Homogeneous Area:	MMC
Material Description:	Grey Roof Flashing
Material Location:	Low Roof of residence along upper wall
ACM Y/N:	Yes

Comments: N/A



Homogeneous Area:	MMD
Material Description:	Exterior Window Glazing Compound
Material Location:	Exterior wood windows
ACM Y/N:	Yes

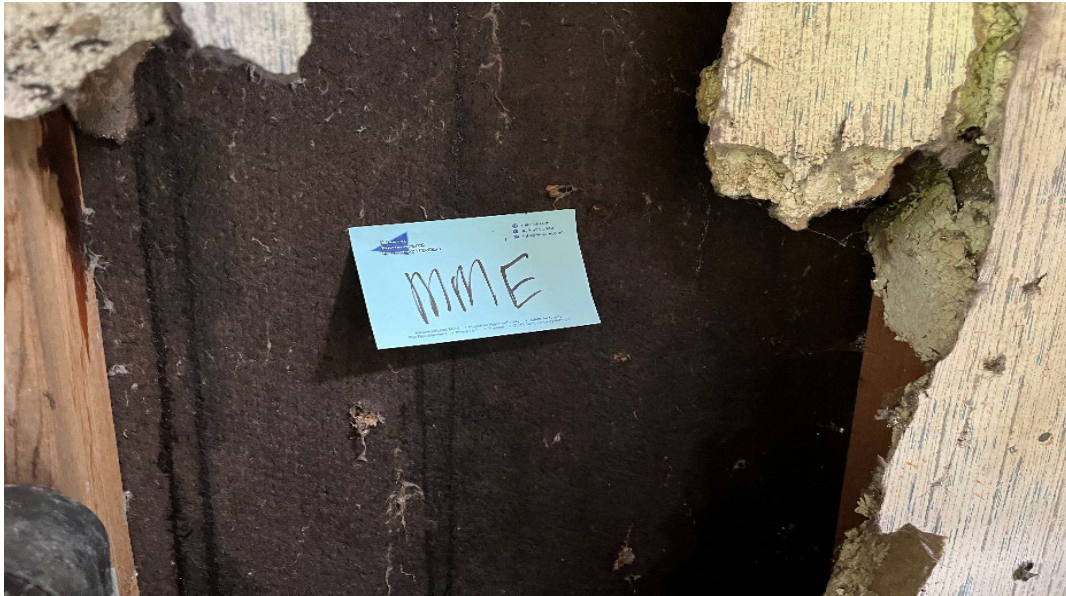
Comments: N/A

CENTRAL ILLINOIS LAND BANK AUTHORITY

FORMER RESIDENCE

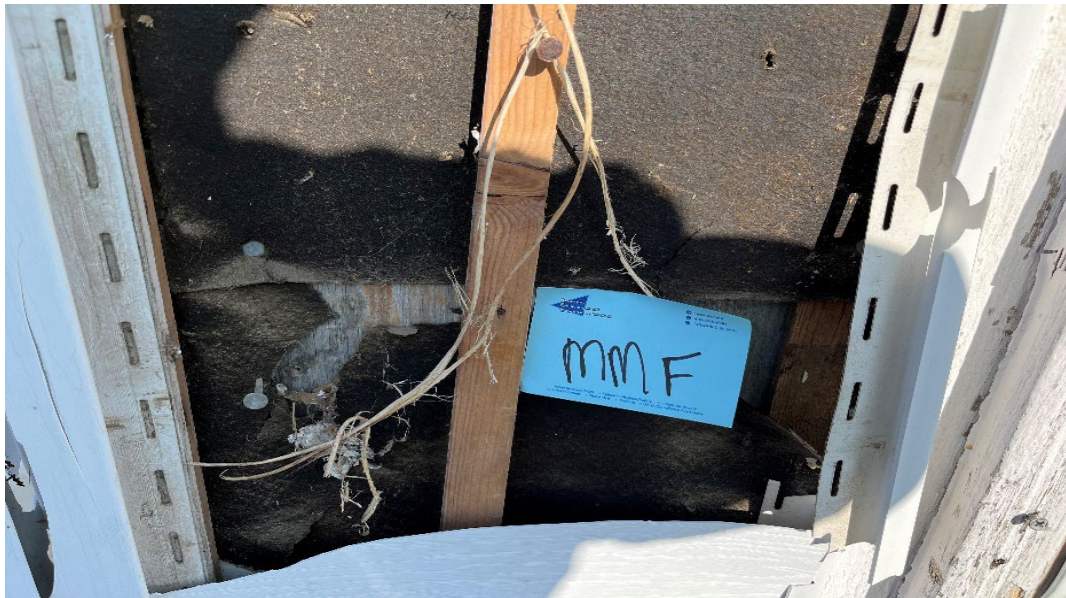
306 E. North Street

Ridge Farm, IL 61870



Homogeneous Area:	MME
Material Description:	Tar Paper - Interior Walls
Material Location:	Garage perimeter walls
ACM Y/N:	No

Comments: N/A



Homogeneous Area:	MMF
Material Description:	Tar Paper under Transite Siding
Material Location:	Exterior Walls
ACM Y/N:	No

Comments: N/A

CENTRAL ILLINOIS LAND BANK AUTHORITY

FORMER RESIDENCE

306 E. North Street

Ridge Farm, IL 61870



Homogeneous Area:	MFG
Material Description:	12"x12" Floor Tile/Mastic - Thin Wood Pattern
Material Location:	Living Room
ACM Y/N:	No

Comments: N/A



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EMSL Order: 262311052
Customer ID: MECO77
Customer PO:
Project ID:

Attention: Michael Glenn
Midwest Environmental Consulting Svs.
2551 North Bridge Street
Yorkville, IL 60560

Phone: (630) 553-3989
Fax: (630) 553-3990
Received Date: 12/04/2023 4:30 PM
Analysis Date: 12/11/2023
Collected Date:

Project: 306 E NORTH ST/23-09-648-INSP

Test Report: Asbestos Analysis of Bulk Materials via AHERA Method 40CFR 763 Subpart E Appendix E supplemented with EPA 600/R-93/116 using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
MFA-1-Floor Tile 262311052-0001	12X12 FLOOR TILE /MASTIC -BEIGE WITH DIAMOND PATTERN	Beige Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MFA-1-Mastic 262311052-0001A	12X12 FLOOR TILE /MASTIC -BEIGE WITH DIAMOND PATTERN	Clear Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MFA-2-Floor Tile 262311052-0002	12X12 FLOOR TILE /MASTIC -BEIGE WITH DIAMOND PATTERN	Beige Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MFA-2-Mastic 262311052-0002A	12X12 FLOOR TILE /MASTIC -BEIGE WITH DIAMOND PATTERN	Clear Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MFA-3-Floor Tile 262311052-0003	12X12 FLOOR TILE /MASTIC -BEIGE WITH DIAMOND PATTERN	Beige Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MFA-3-Mastic 262311052-0003A	12X12 FLOOR TILE /MASTIC -BEIGE WITH DIAMOND PATTERN	Clear Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MFB-1-Sheet Flooring 262311052-0004	SHEET FLOORING /MASTIC-LT BEIGE WITH BLUE FLORAL PATTERN	Beige Non-Fibrous Homogeneous	3% Glass	97% Non-fibrous (Other)	None Detected
MFB-1-Mastic 262311052-0004A	SHEET FLOORING /MASTIC-LT BEIGE WITH BLUE FLORAL PATTERN				Insufficient Material
MFB-2-Sheet Flooring 262311052-0005	SHEET FLOORING /MASTIC-LT BEIGE WITH BLUE FLORAL PATTERN	Beige Non-Fibrous Homogeneous	2% Glass	98% Non-fibrous (Other)	None Detected
MFB-2-Mastic 262311052-0005A	SHEET FLOORING /MASTIC-LT BEIGE WITH BLUE FLORAL PATTERN				Insufficient Material
MFB-3-Sheet Flooring 262311052-0006	SHEET FLOORING /MASTIC-LT BEIGE WITH BLUE FLORAL PATTERN	Beige Non-Fibrous Homogeneous	2% Glass	98% Non-fibrous (Other)	None Detected
MFB-3-Mastic 262311052-0006A	SHEET FLOORING /MASTIC-LT BEIGE WITH BLUE FLORAL PATTERN				Insufficient Material

Initial report from: 12/11/2023 11:36:12



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EMSL Order: 262311052
Customer ID: MECO77
Customer PO:
Project ID:

Test Report: Asbestos Analysis of Bulk Materials via AHERA Method 40CFR 763 Subpart E Appendix E supplemented with EPA 600/R-93/116 using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
MFC-1-Sheet Flooring 262311052-0007	SHEET FLOORING /MASTIC-WHITE WITH BLUE SPECKS	White/Various Non-Fibrous Homogeneous		98% Non-fibrous (Other)	2% Chrysotile
MFC-1-Mastic 262311052-0007A	SHEET FLOORING /MASTIC-WHITE WITH BLUE SPECKS	Black Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MFC-1-Underlayment 262311052-0007B	SHEET FLOORING /MASTIC-WHITE WITH BLUE SPECKS	Brown Fibrous Homogeneous	98% Cellulose	2% Non-fibrous (Other)	None Detected
MFC-2-Sheet Flooring 262311052-0008	SHEET FLOORING /MASTIC-WHITE WITH BLUE SPECKS				Positive Stop (Not Analyzed)
MFC-2-Mastic 262311052-0008A	SHEET FLOORING /MASTIC-WHITE WITH BLUE SPECKS	Black Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MFC-2-Underlayment 262311052-0008B	SHEET FLOORING /MASTIC-WHITE WITH BLUE SPECKS	Brown Fibrous Homogeneous	98% Cellulose	2% Non-fibrous (Other)	None Detected
MFC-3-Sheet Flooring 262311052-0009	SHEET FLOORING /MASTIC-WHITE WITH BLUE SPECKS				Positive Stop (Not Analyzed)
MFC-3-Mastic 262311052-0009A	SHEET FLOORING /MASTIC-WHITE WITH BLUE SPECKS	Black Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MFC-3-Underlayment 262311052-0009B	SHEET FLOORING /MASTIC-WHITE WITH BLUE SPECKS	Brown Fibrous Homogeneous	98% Cellulose	2% Non-fibrous (Other)	None Detected
MFD-1-Sheet Flooring 262311052-0010	SHEET FLOORING /MASTIC-WOOD PATTERN	Brown Non-Fibrous Homogeneous	3% Glass	97% Non-fibrous (Other)	None Detected
MFD-1-Mastic 262311052-0010A	SHEET FLOORING /MASTIC-WOOD PATTERN				Insufficient Material
MFD-2-Sheet Flooring 262311052-0011	SHEET FLOORING /MASTIC-WOOD PATTERN	Brown Non-Fibrous Homogeneous	3% Glass	97% Non-fibrous (Other)	None Detected
MFD-2-Mastic 262311052-0011A	SHEET FLOORING /MASTIC-WOOD PATTERN	Brown/Yellow Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MFD-3-Sheet Flooring 262311052-0012	SHEET FLOORING /MASTIC-WOOD PATTERN	Brown Non-Fibrous Homogeneous	3% Glass	97% Non-fibrous (Other)	None Detected
MFD-3-Mastic 262311052-0012A	SHEET FLOORING /MASTIC-WOOD PATTERN	Brown/Yellow Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MFE-1-Sheet Flooring 262311052-0013	SHEET FLOORING /MASTIC-CREAM WITH SQUARE PATTERN	Beige Non-Fibrous Homogeneous	3% Glass	97% Non-fibrous (Other)	None Detected
MFE-1-Mastic 262311052-0013A	SHEET FLOORING /MASTIC-CREAM WITH SQUARE PATTERN	Brown Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MFE-2-Sheet Flooring 262311052-0014	SHEET FLOORING /MASTIC-CREAM WITH SQUARE PATTERN	Brown Non-Fibrous Homogeneous	3% Glass	97% Non-fibrous (Other)	None Detected

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EMSL Order: 262311052
Customer ID: MECO77
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Test Report: Asbestos Analysis of Bulk Materials via AHERA Method 40CFR 763 Subpart E Appendix E supplemented with EPA 600/R-93/116 using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
MFE-2-Mastic 262311052-0014A	SHEET FLOORING /MASTIC-CREAM WITH SQUARE PATTERN	Brown Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MFE-3-Sheet Flooring 262311052-0015	SHEET FLOORING /MASTIC-CREAM WITH SQUARE PATTERN	Beige Non-Fibrous Homogeneous	3% Glass	97% Non-fibrous (Other)	None Detected
MFE-3-Mastic 262311052-0015A	SHEET FLOORING /MASTIC-CREAM WITH SQUARE PATTERN	Brown/Yellow Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MFF-1-Floor Tile 262311052-0016	9X9 FLOOR TILE/MASTIC-GREY	Gray Non-Fibrous Homogeneous		98% Non-fibrous (Other)	2% Chrysotile
MFF-1-Mastic 262311052-0016A	9X9 FLOOR TILE/MASTIC-GREY	Brown/Gray Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MFF-2-Floor Tile 262311052-0017	9X9 FLOOR TILE/MASTIC-GREY				Positive Stop (Not Analyzed)
MFF-2-Mastic 262311052-0017A	9X9 FLOOR TILE/MASTIC-GREY	Brown/Gray Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MFF-3-Floor Tile 262311052-0018	9X9 FLOOR TILE/MASTIC-GREY				Positive Stop (Not Analyzed)
MFF-3-Mastic 262311052-0018A	9X9 FLOOR TILE/MASTIC-GREY	Brown/Gray Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
SCA-1 262311052-0019	ACOUSTICAL FINISH ON DRYWALL CEILINGS	Beige Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
SCA-2 262311052-0020	ACOUSTICAL FINISH ON DRYWALL CEILINGS	Beige Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
SCA-3 262311052-0021	ACOUSTICAL FINISH ON DRYWALL CEILINGS	Beige Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
SCA-4 262311052-0022	ACOUSTICAL FINISH ON DRYWALL CEILINGS	Beige Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
SCA-5 262311052-0023	ACOUSTICAL FINISH ON DRYWALL CEILINGS	Beige Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MMA-1 262311052-0024	BATHROOM ROOM TILE SURROUND ADHESIVE	Tan Non-Fibrous Homogeneous		98% Non-fibrous (Other)	2% Chrysotile
MMA-2 262311052-0025	BATHROOM ROOM TILE SURROUND ADHESIVE				Positive Stop (Not Analyzed)
MMA-3 262311052-0026	BATHROOM ROOM TILE SURROUND ADHESIVE				Positive Stop (Not Analyzed)
MDA-1-Drywall 262311052-0027	DRYWALL COMPOUND	Brown/White Non-Fibrous Homogeneous	10% Cellulose	90% Non-fibrous (Other)	None Detected

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Test Report: Asbestos Analysis of Bulk Materials via AHERA Method 40CFR 763 Subpart E Appendix E supplemented with EPA 600/R-93/116 using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
MDA-1-Joint Compound 1 262311052-0027A	DRYWALL COMPOUND	White Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MDA-1-Tape 262311052-0027B	DRYWALL COMPOUND	White Fibrous Homogeneous	98% Cellulose	2% Non-fibrous (Other)	None Detected
MDA-1-Joint Compound 2 262311052-0027C	DRYWALL COMPOUND	Yellow Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MDA-2-Drywall 262311052-0028	DRYWALL COMPOUND	Brown/White Non-Fibrous Homogeneous	10% Cellulose	90% Non-fibrous (Other)	None Detected
MDA-2-Joint Compound 1 262311052-0028A	DRYWALL COMPOUND	White Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MDA-2-Tape 262311052-0028B	DRYWALL COMPOUND	White Fibrous Homogeneous	98% Cellulose	2% Non-fibrous (Other)	None Detected
MDA-2-Joint Compound 2 262311052-0028C	DRYWALL COMPOUND	White Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MDA-3-Drywall 262311052-0029	DRYWALL COMPOUND	Brown/White Non-Fibrous Homogeneous	10% Cellulose	90% Non-fibrous (Other)	None Detected
MDA-3-Joint Compound 1 262311052-0029A	DRYWALL COMPOUND	White Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MDA-3-Tape 262311052-0029B	DRYWALL COMPOUND	White Fibrous Homogeneous	98% Cellulose	2% Non-fibrous (Other)	None Detected
MDA-3-Joint Compound 2 262311052-0029C	DRYWALL COMPOUND	White Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MMB-1 262311052-0030	RESIDUAL BLACK MASTIC	Black Non-Fibrous Homogeneous	4% Cellulose	96% Non-fibrous (Other)	None Detected
MMB-2 262311052-0031	RESIDUAL BLACK MASTIC	Black Non-Fibrous Homogeneous	4% Cellulose	96% Non-fibrous (Other)	None Detected
MMB-3 262311052-0032	RESIDUAL BLACK MASTIC	Black Non-Fibrous Homogeneous	4% Cellulose	96% Non-fibrous (Other)	None Detected
MTA-1 262311052-0033	TRANSITE EXTERIOR SIDING	Gray/White Non-Fibrous Homogeneous		85% Non-fibrous (Other)	15% Chrysotile
MTA-2 262311052-0034	TRANSITE EXTERIOR SIDING				Positive Stop (Not Analyzed)
MTA-3 262311052-0035	TRANSITE EXTERIOR SIDING				Positive Stop (Not Analyzed)

Initial report from: 12/11/2023 11:36:12



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EMSL Order: 262311052

Customer ID: MECO77

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Project ID:

Test Report: Asbestos Analysis of Bulk Materials via AHERA Method 40CFR 763 Subpart E Appendix E supplemented with EPA 600/R-93/116 using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
MRA-1-Shingle 262311052-0036	ASPHALT SHINGLES AND TAR PAPER	Gray/Black/Blue Non-Fibrous Homogeneous	10% Glass	90% Non-fibrous (Other)	None Detected
MRA-1-Tar Paper 262311052-0036A	ASPHALT SHINGLES AND TAR PAPER	Black Fibrous Homogeneous	80% Cellulose	20% Non-fibrous (Other)	None Detected
MRA-2-Shingle 262311052-0037	ASPHALT SHINGLES AND TAR PAPER	Gray/Black Non-Fibrous Homogeneous	10% Glass	90% Non-fibrous (Other)	None Detected
MRA-2-Tar Paper 262311052-0037A	ASPHALT SHINGLES AND TAR PAPER	Black Fibrous Homogeneous	80% Cellulose	20% Non-fibrous (Other)	None Detected
MRA-3-Shingle 262311052-0038	ASPHALT SHINGLES AND TAR PAPER	Gray/Black Non-Fibrous Homogeneous	10% Glass	90% Non-fibrous (Other)	None Detected
MRA-3-Tar Paper 262311052-0038A	ASPHALT SHINGLES AND TAR PAPER	Black Fibrous Homogeneous	80% Cellulose	20% Non-fibrous (Other)	None Detected
MMC-1 262311052-0039	GREY ROOF FLASHING	Gray/Black Non-Fibrous Homogeneous		94% Non-fibrous (Other)	6% Chrysotile
MMC-2 262311052-0040	GREY ROOF FLASHING				Positive Stop (Not Analyzed)
MMC-3 262311052-0041	GREY ROOF FLASHING				Positive Stop (Not Analyzed)
MMD-1 262311052-0042	WINDOW GLAZING COMPOUND	Gray/White Non-Fibrous Homogeneous		98% Non-fibrous (Other)	2% Chrysotile
MMD-2 262311052-0043	WINDOW GLAZING COMPOUND				Positive Stop (Not Analyzed)
MMD-3 262311052-0044	WINDOW GLAZING COMPOUND				Positive Stop (Not Analyzed)
MME-1 262311052-0045	TAR PAPER -GARAGE INTERIOR	Brown/Black Fibrous Homogeneous	96% Cellulose	4% Non-fibrous (Other)	None Detected
MME-2 262311052-0046	TAR PAPER -GARAGE INTERIOR	Brown/Black Fibrous Homogeneous	96% Cellulose	4% Non-fibrous (Other)	None Detected
MME-3 262311052-0047	TAR PAPER -GARAGE INTERIOR	Brown/Black Fibrous Homogeneous	90% Cellulose	10% Non-fibrous (Other)	None Detected
MMF-1 262311052-0048	TAR PAPER UNDER EXTERIOR SIDING	Black Fibrous Homogeneous	85% Cellulose	15% Non-fibrous (Other)	None Detected
MMF-2 262311052-0049	TAR PAPER UNDER EXTERIOR SIDING	Black Fibrous Homogeneous	85% Cellulose	15% Non-fibrous (Other)	None Detected
MMF-3 262311052-0050	TAR PAPER UNDER EXTERIOR SIDING	Black Fibrous Homogeneous	85% Cellulose	15% Non-fibrous (Other)	None Detected
MFG-1-Floor Tile 262311052-0051	12X12 FLOOR TILE /MASTIC-THIN WOOD PATTERN	Brown/Tan Non-Fibrous Homogeneous	3% Synthetic	97% Non-fibrous (Other)	None Detected

Initial report from: 12/11/2023 11:36:12



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Test Report: Asbestos Analysis of Bulk Materials via AHERA Method 40CFR 763 Subpart E Appendix E supplemented with EPA 600/R-93/116 using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
MFG-1-Mastic 262311052-0051A	12X12 FLOOR TILE /MASTIC-THIN WOOD PATTERN	Yellow/Clear Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MFG-2-Floor Tile 262311052-0052	12X12 FLOOR TILE /MASTIC-THIN WOOD PATTERN	Brown/Tan Non-Fibrous Homogeneous	3% Synthetic	97% Non-fibrous (Other)	None Detected
MFG-2-Mastic 262311052-0052A	12X12 FLOOR TILE /MASTIC-THIN WOOD PATTERN	Yellow/Clear Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
MFG-3-Floor Tile 262311052-0053	12X12 FLOOR TILE /MASTIC-THIN WOOD PATTERN	Brown/Tan Non-Fibrous Homogeneous	3% Synthetic	97% Non-fibrous (Other)	None Detected
MFG-3-Mastic 262311052-0053A	12X12 FLOOR TILE /MASTIC-THIN WOOD PATTERN	Yellow Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected

Analyst(s)
Mazen Elkhatib (37)
Selina Zeiss (36)

James Hahn, Laboratory Manager
or Other Approved Signatory

EMSL maintains liability limited to cost of analysis. Interpretation and use of test results are the responsibility of the client. This report relates only to the samples reported above, and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. The report reflects the samples as received. Results are generated from the field sampling data (sampling volumes and areas, locations, etc.) provided by the client on the Chain of Custody. Samples are within quality control criteria and met method specifications unless otherwise noted. The above analyses were performed in general compliance with Appendix E to Subpart E of 40 CFR (previously EPA 600/M4-82-020 "Interim Method") but augmented with procedures outlined in the 1993 ("final") version of the method. This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST or any agency of the federal government. Non-friable organically bound materials present a problem matrix and therefore EMSL recommends gravimetric reduction prior to analysis. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample. Estimation of uncertainty is available on request.

Samples analyzed by EMSL Analytical, Inc. Hillside, IL NVLAP Lab Code 200399-0

Initial report from: 12/11/2023 11:36:12



EMSL ANALYTICAL, INC.
LABORATORY PRODUCTS TRAINING

Asbestos Bulk Building Material Chain of Custody

EMSL Order Number (Lab Use Only):

262311052

EMSL ANALYTICAL, INC.
200 ROUTE 130 NORTH
CINNAMINSON, NJ 08077
PHONE: (800) 220-3675
FAX: (856) 786-5974

Company: <u>Midwest Environmental Services</u>		EMSL-Bill to: <input checked="" type="checkbox"/> Same <input type="checkbox"/> Different If Bill to is Different note instructions in Comments**	
Street: <u>2551 N Bridge ST</u>		Third Party Billing requires written authorization from third party	
City: <u>Yorkville</u>	State/Province: <u>IL</u>	Zip/Postal Code: <u>60133</u>	Country: <u>USA</u>
Report To (Name): <u>23-09-648-INSF</u>		Telephone #: <u>630-553-3989</u>	
Email Address: <u>mglenna@me-us.com</u>		Fax #:	Purchase Order:
Project Name/Number: <u>306E North St</u>		Please Provide Results: <input type="checkbox"/> Fax <input type="checkbox"/> Email	
U.S. State Samples Taken: <u>23-09-648-INSF Form IL</u>		CT Samples: <input type="checkbox"/> Commercial/Taxable <input type="checkbox"/> Residential/Tax Exempt	

Turnaround Time (TAT) Options* - Please Check

3 Hour
 6 Hour
 24 Hour
 48 Hour
 72 Hour
 96 Hour
 1 Week
 2 Week

*For TEM Air 3 hr through 6 hr, please call ahead to schedule. *There is a premium charge for 3 Hour TEM AHERA or EPA Level II TAT. You will be asked to sign an authorization form for this service. Analysis completed in accordance with EMSL's Terms and Conditions located in the Analytical Price Guide.

PLM - Bulk (reporting limit)	TEM - Bulk
<input checked="" type="checkbox"/> PLM EPA 600/R-93/116 (<1%)	<input type="checkbox"/> TEM EPA NOB - EPA 600/R-93/116 Section 2.5.5.1
<input type="checkbox"/> PLM EPA NOB (<1%)	<input type="checkbox"/> NY ELAP Method 198.4 (TEM)
Point Count <input type="checkbox"/> 400 (<0.25%) <input type="checkbox"/> 1000 (<0.1%)	<input type="checkbox"/> Chatfield Protocol (semi-quantitative)
Point Count w/Gravimetric <input type="checkbox"/> 400 (<0.25%) <input type="checkbox"/> 1000 (<0.1%)	<input type="checkbox"/> TEM % by Mass - EPA 600/R-93/116 Section 2.5.5.2
<input type="checkbox"/> NIOSH 9002 (<1%)	<input type="checkbox"/> TEM Qualitative via Filtration Prep Technique
<input type="checkbox"/> NY ELAP Method 198.1 (friable in NY)	<input type="checkbox"/> TEM Qualitative via Drop Mount Prep Technique
<input type="checkbox"/> NY ELAP Method 198.6 NOB (non-friable-NY)	Other
<input type="checkbox"/> OSHA ID-191 Modified	<input type="checkbox"/>
<input type="checkbox"/> Standard Addition Method	

Check For Positive Stop - Clearly Identify Homogenous Group Date Sampled:

Samplers Name: _____ Samplers Signature: _____

Sample #	HA #	Sample Location	Material Description
MFA-1,2,3		12x12 Floor Tile/Mastic - Beige with Diamond Pattern	
MFB-1,2,3		Sheet Floor/Mastic - Lt Beige with Blue Floral Pattern	
MFC-1,2,3		Sheet Floor/mastic - White with Blue Specks	
MFD-1,2,3		Sheet floor/mastic - Wood Pattern	
MFE-1,2,3		Sheet floor/mastic - Cream with Square Pattern	
MFF-1,2,3		9x9 Floor Tile/Mastic - Grey	
SCA-1,2,3,4,5		Acoustical Finish on Drywall Ceilings	
MMA-1,2,3		Bathroom room tile surround adhesive	
MFD-1,2,3			
MDA-1,2,3		Drywall and Compound	

Client Sample # (s): _____ Total # of Samples: _____

Relinquished (Client): Michael DeLuca Date: 12/14/2023 Time: 4:30 PM

Received (Lab): _____ Date: 12/04/23 Time: 4:30 PM

Comments/Special Instructions: Also email results to results@me-us.com W.I.

United States Department of Commerce
National Institute of Standards and Technology



Certificate of Accreditation to ISO/IEC 17025:2017

NVLAP LAB CODE: 200399-0

EMSL Analytical Inc.
Hillside, IL

*is accredited by the National Voluntary Laboratory Accreditation Program for specific services,
listed on the Scope of Accreditation, for:*

Asbestos Fiber Analysis

*This laboratory is accredited in accordance with the recognized International Standard ISO/IEC 17025:2017.
This accreditation demonstrates technical competence for a defined scope and the operation of a laboratory quality
management system (refer to joint ISO-ILAC-IAF Communique dated January 2009).*

2023-04-01 through 2024-03-31

Effective Dates



A handwritten signature in blue ink, appearing to read 'Dana S. Haman'. The signature is written in a cursive style.

For the National Voluntary Laboratory Accreditation Program

SCOPE OF ACCREDITATION TO ISO/IEC 17025:2017

EMSL Analytical Inc.

4140 Litt Drive
Hillside, IL 60162

Mr. James Hahn

Phone: 773-313-0099 Fax: 773-313-0139

Email: jhahn@emsl.com

<http://www.emsl.com>

ASBESTOS FIBER ANALYSIS

NVLAP LAB CODE 200399-0

Bulk Asbestos Analysis

Code

Description

18/A01

EPA -- 40 CFR Appendix E to Subpart E of Part 763, Interim Method of the Determination of Asbestos in Bulk Insulation Samples

18/A03

EPA 600/R-93/116: Method for the Determination of Asbestos in Bulk Building Materials

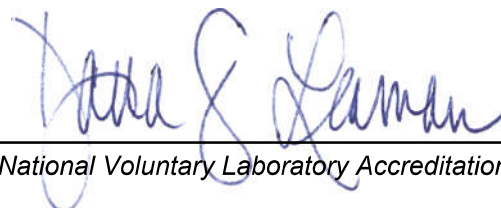
Airborne Asbestos Analysis

Code

Description

18/A02

U.S. EPA's "Interim Transmission Electron Microscopy Analytical Methods-Mandatory and Nonmandatory-and Mandatory Section to Determine Completion of Response Actions" as found in 40 CFR, Part 763, Subpart E, Appendix A.



For the National Voluntary Laboratory Accreditation Program



525-535 West Jefferson Street • Springfield, Illinois 62761-0001 • www.dph.illinois.gov

MICHAEL A GLENN
 5731 ESSEX COURT
 HANOVER PARK, IL 60133

2/23/2023



ASBESTOS PROFESSIONAL LICENSE ID NUMBER: 02620

Enclosed is your Asbestos Professional License. Please note the expiration date on the card and in the image depicted below.

COPY OF THE ASBESTOS PROFESSIONAL LICENSE

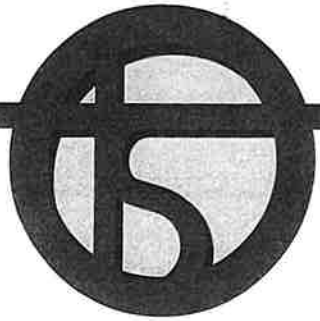
Front of License

Back of License

 <p>ASBESTOS PROFESSIONAL LICENSE</p>			<p>ENDORSEMENTS</p> <p>INSPECTOR PROJECT DESIGNER MANAGEMENT PLANNER PROJECT MANAGER AIR SAMPLING PROFESSIONAL</p>	<p>TC EXPIRES</p> <p>11/3/2023 2/9/2024 11/3/2023 8/10/2023</p>
<p>ID NUMBER 100 - 02620</p>	<p>ISSUED 2/23/2023</p>	<p>EXPIRES 05/15/2024</p>	<p>Alteration of this license shall result in legal action This license issued under authority of the State of Illinois Department of Public Health This license is valid only when accompanied by a valid training course certificate.</p>	
<p>MICHAEL A GLENN 5731 ESSEX COURT HANOVER PARK, IL 60133 Environmental Health</p>				

If you have any questions or need further assistance, contact the Asbestos Program at (217)782-3517 or fax (217)785-5897.

Our WEB address is: dph.illinois.gov/topics-services/environmental-health-protection/asbestos
 EMAIL Address: dph.asbestos@illinois.gov



OCCUPATIONAL TRAINING & SUPPLY, INC.

Asbestos Building Inspector Refresher

Occupational Training & Supply, Inc. certifies that

Michael Glenn

has successfully completed the Asbestos Building Inspector Refresher course and has passed the competency exam with a minimum score of 70%. The course is accredited by the Illinois Department of Public Health and Indiana Department of Environmental Management for purposes of accreditation in accordance with EPA 40 CFR 763, Asbestos Hazard Emergency response Act (AHERA) and TSCA Title II.

Course Date: 11/3/2023

Exam Date: 11/3/2023

Expiration Date: 11/3/2024

Certificate Number: BIR2311032901

Kristina Miczek, Training Manager



525-535 West Jefferson Street • Springfield, Illinois 62761-0001 • www.dph.illinois.gov

JOSHUA RENTAUSKAS
 114 S GARFIELD ST
 RANSOM, IL 60470

1/25/2023

ASBESTOS PROFESSIONAL LICENSE ID NUMBER: 20386

Enclosed is your Asbestos Professional License. Please note the expiration date on the card and in the image depicted below.

COPY OF THE ASBESTOS PROFESSIONAL LICENSE

Front of License

Back of License

 <p>ASBESTOS PROFESSIONAL LICENSE</p>			<p>ENDORSEMENTS</p> <p>INSPECTOR</p> <p>PROJECT MANAGER</p> <p>AIR SAMPLING PROFESSIONAL</p> <p>Alteration of this license shall result in legal action This license issued under authority of the State of Illinois Department of Public Health This license is valid only when accompanied by a valid training course certificate.</p>	<p>TC EXPIRES</p> <p>8/12/2023</p> <p>7/16/2023</p>
<p>ID NUMBER</p> <p>100 - 20386</p> <p>JOSHUA RENTAUSKAS 114 S GARFIELD ST RANSOM, IL 60470</p> <p>Environmental Health</p>	<p>ISSUED</p> <p>1/25/2023</p>	<p>EXPIRES</p> <p>05/15/2024</p> 		

If you have any questions or need further assistance, contact the Asbestos Program at (217)782-3517 or fax (217)785-5897.

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EMAIL Address: dph.asbestos@illinois.gov



OCCUPATIONAL TRAINING & SUPPLY, INC.

Asbestos Building Inspector Refresher

Occupational Training & Supply, Inc. certifies that

Joshua Rentauskas

has successfully completed the Asbestos Building Inspector Refresher course and has passed the competency exam with a minimum score of 70%. The course is accredited by the Illinois Department of Public Health and Indiana Department of Environmental Management for purposes of accreditation in accordance with EPA 40 CFR 763, Asbestos Hazard Emergency response Act (AHERA) and TSCA Title II.

Course Date: 7/14/2023

Exam Date: 7/14/2023

Expiration Date: 7/14/2024

Certificate Number: BIR2307142001

Kathy DeSalvo, Director

ATTACHMENT E
SPECIAL WASTE & ASBESTOS MANIFEST



NON-HAZARDOUS SPECIAL WASTE & ASBESTOS MANIFEST

If waste is asbestos waste, complete Sections I, II, III and IV
If waste is **NOT** asbestos waste, complete Sections I, II and III

I. GENERATOR (Generator completes Ia-r)

a. Generator's US EPA ID Number		b. Manifest Document Number		c. Page 1 of 1	
d. Generator's Name and Location: Central IL Land Bank Authority 401 West 14 th Street Georgetown, IL 61846 f. Phone:217-655-8190			e. Generator's Mailing Address: Central IL Land Bank Authority 201 N. Vermillion Street 2 nd Floor Danville, IL 61832 g. Phone:217-655-8190		
If owner of the generating facility differs from the generator, provide:					
h. Owner's Name:			i. Owner's Phone No.:		
j. Waste Profile #	k. Exp. Date	l. Waste Shipping Name and Description	m. Containers No. Type		n. Total Quantity
4725240558	01/11/2025	Ash Debris			
GENERATOR'S CERTIFICATION: I hereby certify that the above named material is not a hazardous waste as defined by 40 CFR 261 or any applicable state law, has been properly described, classified and packaged, and is in proper condition for transportation according to applicable regulations; AND, if this waste is a treatment residue of a previously restricted hazardous waste subject to the Land Disposal Restrictions. I certify and warrant that the waste has been treated in accordance with the requirements of 40 CFR 268 and is no longer a hazardous waste as defined by 40 CFR 261.					
p. Generator Authorized Agent Name (Print)			q. Signature		r. Date

II. TRANSPORTER (Generator completes IIa-b and Transporter completes IIc-e)

a. Transporter's Name and Address:		
b. Phone:		
c. Driver Name (Print)	d. Signature	e. Date

III. DESTINATION (Generator complete IIIa-c and Destination Site completes III d-g)

a. Disposal Facility and Site Address: Brickyard Landfill 601 E Brickyard Road Danville, IL 61832 b. Phone: 217.443.3128	c. US EPA Number	d. Discrepancy Indication Space:
I hereby certify that the above named material has been accepted and to the best of my knowledge the foregoing is true and accurate.		
e. Name of Authorized Agent (Print)	f. Signature	g. Date

IV. ASBESTOS (Generator completes IVa-f and Operator complete IVg-i)

a. Operator's Name and Address:	c. Responsible Agency Name and Address:	
b. Phone:	d. Phone:	
e. Special Handling Instructions and Additional Information:		
f. <input type="checkbox"/> Friable <input type="checkbox"/> Non-Friable <input type="checkbox"/> Both	% Friable	% Non-Friable
OPERATOR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by proper shipping name and are classified, packed, marked and labeled and are in all respects in proper condition for transport by highway according to applicable international and national governmental regulations.		
g. Operator's Name and Title (Print)	h. Signature	i. Date
*Operator refers to the company which owns, leases, operates, controls, or supervises the facility being demolished or renovated, or the demolition or renovation operation or both		